

MATERIALS LEGEND

	COMPACTED GRAVEL FILL		GLASS
	CONCRETE		CERAMIC TILE
	BRICK MASONRY		FINISHED WOOD
	CONCRETE MASONRY		ROUGH WOOD
	MARBLE, STONE		PLASTER, GYPSUM
	METAL		BATT INSULATION
	PLYWOOD		RIGID INSULATION

SYMBOLS LEGEND

	Section No. BUILDING SECTION REFERENCE NO. Drawing No.		ROOM NUMBER
	Section No. WALL SECTION REFERENCE NO. Drawing No.		DOOR NUMBER
	Detail No. DETAIL REFERENCE Drawing No.		WINDOW DESIGNATION
	Elevation No. ELEVATION REFERENCE Drawing No.		REVISION NUMBER
	NEW DOOR & FRAME		PARTITION TYPE
	EXISTING DOOR & FRAME TO REMAIN		EXISTING WORK TO REMAIN
	SALVAGE EXISTING DOOR & FRAME FOR REUSE		EXISTING WORK TO BE REMOVED
	REMOVE EXISTING DOOR, FRAME & WALL		REMOVE WOOD TRIM FROM EXISTING WALL TO REMAIN
			CENTER LINES OR MATCH LINES
			PROJECT LIMIT LINES OR PROPERTY LINES
			HIDDEN LINES
			REMOVAL LINES
			AREA OF WORK

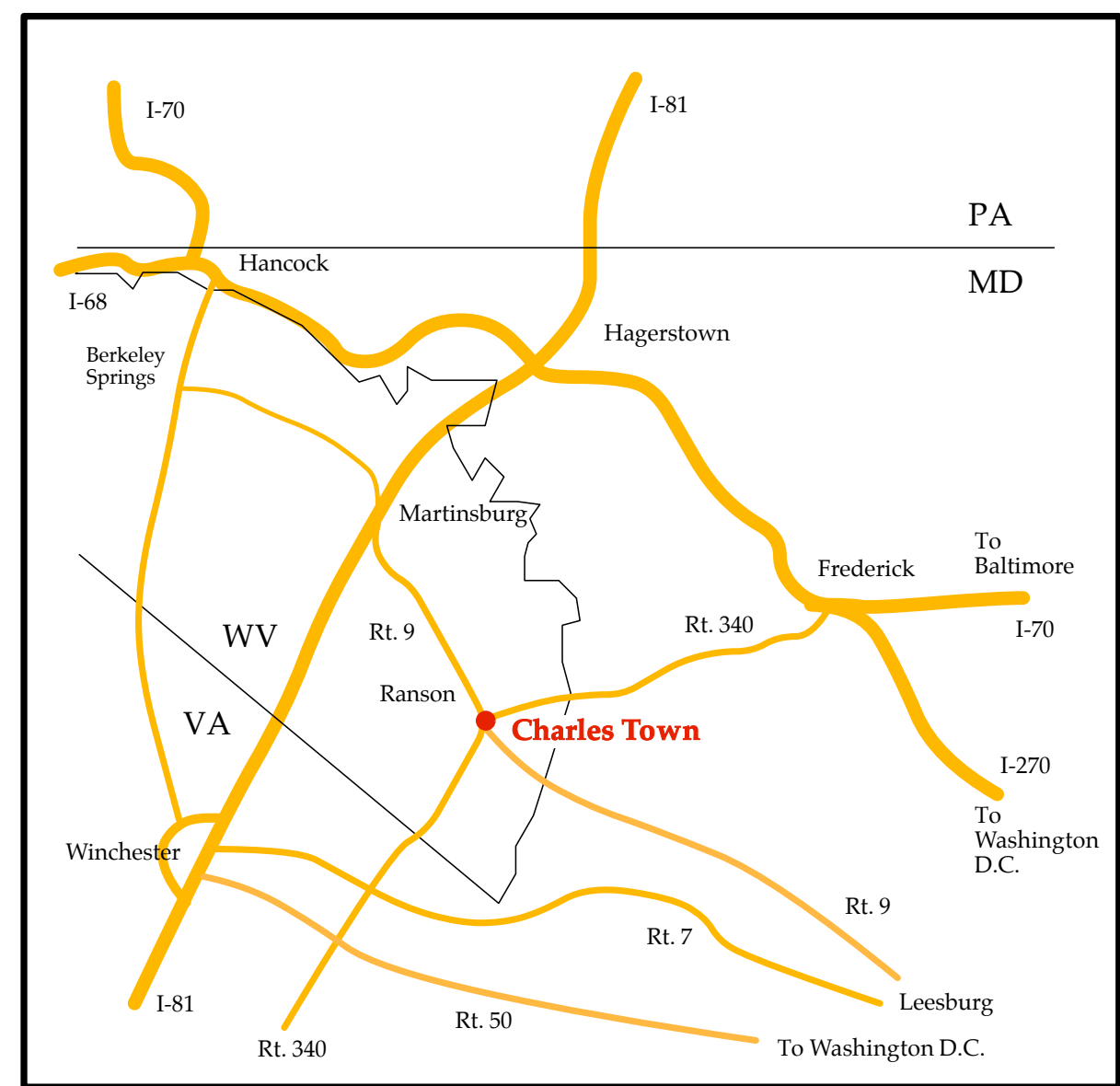
ABBREVIATIONS

ATC	Acoustical Tile Ceiling	HM	Hollow Metal
ADJUST	Adjustable	HPL	High Pressure Laminate
AFF	Above Finish Floor	HR	Hour
ALUM	Aluminum	HW	Hardware
CPT	Carpet	INSUL	Insulation
CAB	Cabinet	JB	Junction Box
CL	Closet	MAX	Maximum
CT	Ceramic Tile	MIN	Minimum
CLG	Ceiling	MTL	Metal
CONT	Continuous	NIC	Not in Contract
COTR	Contract Officer's Tech'l Representative	NO	Number
CMU	Concrete Masonry Unit	NTS	Not to Scale
DF	Drinking Fountain	OC	On Center
DN	Down	OH	Opposite Hand
DWG	Drawing	PLAM	Plastic Laminate
ELEC	Electrical	PT	Paint
EQ	Equal	PWD	Plywood
EQUIP	Equipment	SS	Stainless Steel
EXG	Existing	TBD	To Be Determined
FEC	Fire Extinguisher Cabinet	Temp	Tempered
FFE	Finish Floor Elevation	TYP	Typical
GA	Gauge	UON	Unless Otherwise Noted
GC	General Contractor	VCT	Vinyl Composition Tile
GL	Glass	VIF	Verify in Field
GWB	Gypsum Wallboard	WD	Wood
GWB-X	5/8" Type X Gypsum Wallboard	WR	Water Resistant

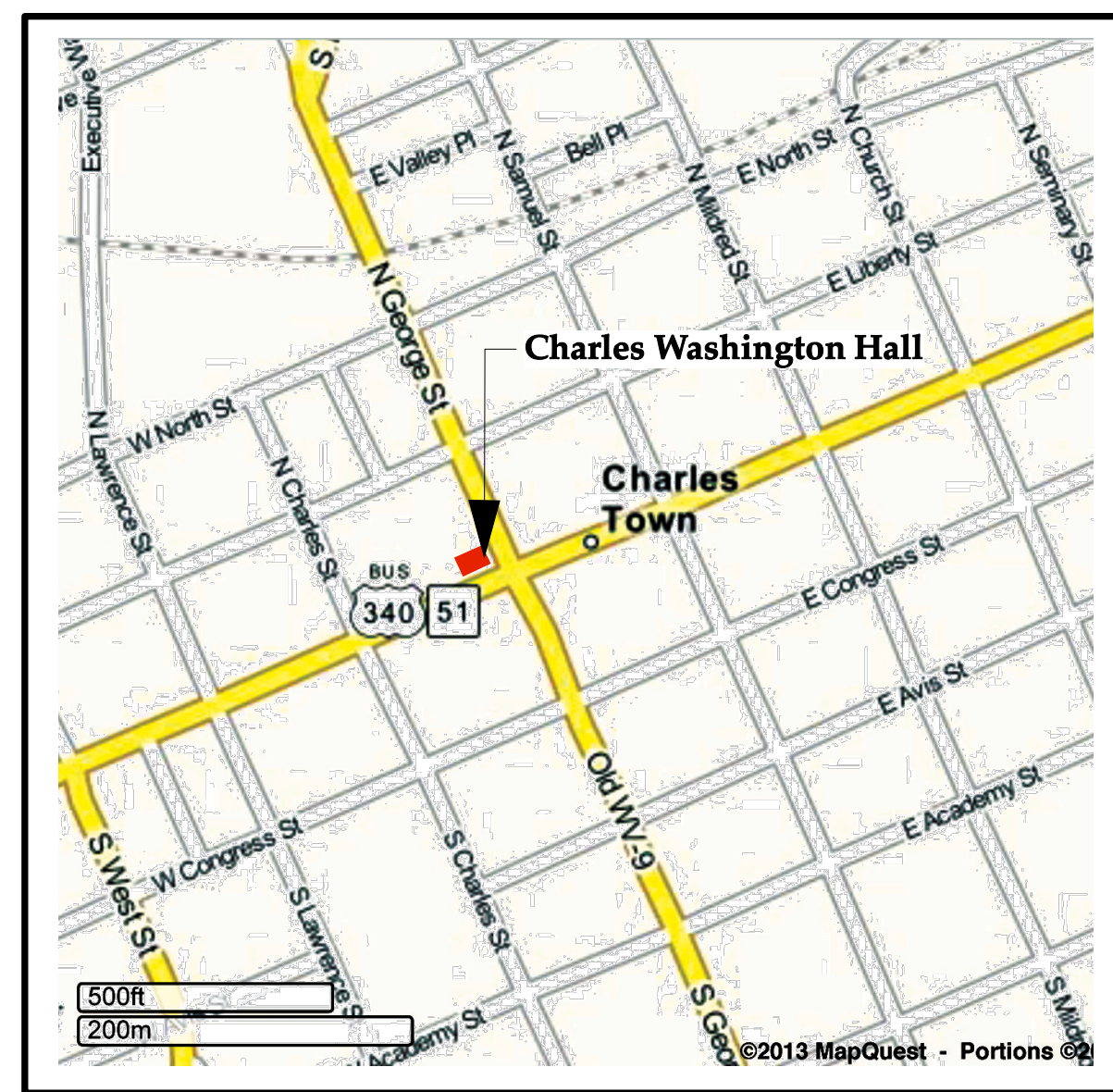
GENERAL NOTES

- All contractors doing work on site shall have a Business License from the State of West Virginia and a Business License from the City of Charles Town, WV (Rev. 1).
- Locating Openings: Unless otherwise dimensioned, center doors and framed openings between adjacent walls.
- Schedule: The Contractor shall prepare a construction schedule prior to the start of the job which will be reviewed at each progress payment request.
- Fire Safety:
 - All materials stored at construction area, and/or in any area of the building, are to be secured in a locked area. Access to such areas is to be controlled by Owner and General Contractor.
 - All materials to be stored in an orderly fashion.
 - All flammable materials to be kept tightly sealed in their respective manufacturer's containers. Such materials are to be kept away from heat.
 - All flammable materials to be used and stored in an adequately ventilated space.
- Dust Control:
 - Debris, dirt, and soot shall be kept to a minimum, and be confined to the immediate construction area.
 - Debris, dirt and dust to be cleaned up and cleared from building periodically to avoid any excessive accumulation.
 - Tape off and poly. doorways between work area and non work areas.
- Furnish all labor, materials, appurtenances, equipment, and services necessary and required to complete all work so noted or depicted on the following drawings.
- All interior partition dimensions are from stud to stud, unless noted otherwise.
- Examine the conditions and preparations made for the performance of all work and notify the Architect in writing of conditions detrimental to the proper and timely completion of the work. Do not proceed with work until conditions are made satisfactory for performance of work.
- Order all specified materials and fabricated items with sufficient lead time so as not to delay work in any manner.
- Care should be taken to protect all site and construction conditions throughout the course of construction. Should any damage occur, the contractor shall restore to the prior condition.
- The Contractor shall make arrangements with the Architect to coordinate and direct connection of service so as not to delay the progress of the job.
- Manufacturer's recommendations and installation instructions shall be adhered to for all materials used.
- The Contractor shall not scale the drawings. In the event that a needed dimension is not clearly indicated, notify the Architect at once. Proceed with the affected work only upon receipt of explicit direction by the Architect.
- The Contractor shall alert the Architect a minimum of 48 hours in advance of the following field inspections: The Architect shall verify floor layout of walls prior to their construction. The Architect shall verify framing installation prior to installation of wall board panels or block.
- The Contractor shall collect all product warranties and relevant receipts on the project. The Contractor shall compile this information and turn it over to the Architect prior to final payment. All work shall be warranted by the Contractor for one year from the date of Substantial Completion.
- Unless noted specifically that work is to be done by others or by the Owner, the Contractor shall provide and install all work shown or described in the Contract Documents.
- All penetrations through fire and smoke rated construction shall be sealed. See mechanical drawings for locations of fire and smoke rated dampers.
- Provide and maintain in a sanitary condition during the construction period adequate toilet facilities for use of all employees from beginning to end of work; install at an approved location to meet the requirements of the local health department. Equip temporary toilets with weatherproof enclosure doors. Shield toilets to insure privacy. Use of permanent plumbing fixtures within the building during construction will not be permitted.
- The Contractor may locate a storage trailer on the Liberty Street Parking Lot during construction. Coordinate with the City of Charles Town.

REGIONAL MAP
Not To Scale



TOWN MAP
Not To Scale



LIST OF DRAWINGS

ARCHITECTURAL

- Cover Sheet
- A1.1 General Notes, Legend
- A2.1 Basement Demolition Plan & Notes
- A2.2 First Floor Demolition Plan & Notes
- A2.3 Second Floor Demolition Plan & Notes
- A2.4 Balcony Level Demolition Plan
- A3.1 Basement Construction Plan & Notes
- A3.2 First Floor Construction Plan & Notes
- A3.3 Second Floor Construction Plan & Notes
- A3.4 Balcony Level Construction Plan
- A3.5 Truss Level & Cupola Construction Plan
- A4.1 South Building Elevation
- A4.2 East Building Elevation
- A4.3 North Building Elevation
- A4.4 West Building Elevation
- A5.1 Building Sections
- A5.2 Building Sections
- A5.3 Building Sections
- A6.1 Interior Elevations
- A6.2 Interior Elevations
- A6.3 Interior Elevations
- A7.1 First Floor RCP Plan & Notes
- A7.2 Second Floor RCP Plan & Notes
- A8.1 Finish Schedule & Partition Types
- A8.2 Window Schedule & Details
- A8.3 Door Schedule & Details
- A9.1 Exterior Details
- A9.2 Interior Details
- A9.3 Interior Details

SITE/LANDSCAPING

- L1.1 Site Layout and Paving Plan
- L1.2 Site Grading & Drainage Plan
- L1.3 Site Lighting Plan
- L2.1 Site Details

STRUCTURAL

- S1.1 General Notes
- S1.2 Legend & Abbreviations
- S2.1 Foundation Plan
- S2.2 First Floor Framing Plan on Basement Plan
- S2.3 Second Floor Framing Plan on First Floor Plan
- S2.4 Balcony Level Framing Plan on Second Floor Plan
- S2.5 Roof Framing Plan on Attic Plan
- S3.1 South Elevation
- S4.1 Typical Foundation & Wall Details
- S4.2 Typical Superstructure Details
- S4.3 Details
- S4.4 Details

MECHANICAL, PLUMBING & ELECTRICAL

- M1.1 Mechanical Schedules & Details
- M1.2 Mechanical Schedules & Details
- M1.3 Mechanical Piping & Details
- M2.1 Basement Mechanical Plan
- M2.2 First Floor Mechanical Plan
- M2.3 Second Floor Mechanical Plan
- M2.4 Balcony Level Mechanical Plan

- P1.1 Plumbing Schedules & Details
- P2.1 Basement Plumbing Plan
- P2.2 First Floor Plumbing Plan
- P2.3 Second Floor Plumbing Plan
- P3.1 Basement Water Piping Plan
- P3.2 First Floor Water Piping Plan
- P3.3 Second Floor Water Piping Plan

- E1.1 Basement Lighting Plan
- E1.2 First Floor Lighting Plan
- E1.3 Second Floor Lighting Plan
- E2.1 Basement Power Plan
- E2.2 First Floor Power Plan
- E2.3 Second Floor Power Plan
- E3.1 Electrical Details

LIFE SAFETY NOTES

- General: Unless otherwise indicated, work shall be done in accordance with IBC 2012 National Code and NFPA 101 Life Safety Code 2009.
- The IBC construction classification for the existing two story structure is Type III B.
- The NFPA construction classification for the existing structure is Type III (200). The proposed renovation includes the installation of an NFPA 13 sprinkler system. First floor area is 4,500 sf and the second floor is 2,900 SF, both of which are less than the maximum allowed area of 8,000 and 4,000 SF respectively according Appendix B of Title 87.
- The NFPA Occupancy Classification for Charles Washington Hall is Group A Assembly, for the meeting hall on the second floor and the restaurant on the first floor. Other spaces on the first floor include use group M Merchandise.
- Two fire extinguishers and fire extinguisher boxes shall be provided per floor by the Owner and installed by the Contractor where shown on the drawings.
- The Contractor shall secure permits from the City of Charles Town for the proposed work.

ADMINISTRATIVE NOTES

- State wage rates apply to this project.
- Bid, performance, and labor & material bonds are required for this project.
- Applications for payment shall be submitted by the Contractor in triplicate at the end of the month. The retainage amount shall be 10% up until Substantial Completion, at which point the retainage may be reduced to 5% provided the project is on schedule.
- Certified payrolls are required on this project.

NORTH (magnetic)

Charles Washington Hall
RENOVATIONS
Corner of George & Washington Streets
Charles Town, W.Va.

For the
City of Charles Town
City of Ranson

Planning & Engineering (prime)

Hall Planning & Engineering, Inc
316 Williams Street
Tallahassee, FL 32303

Landscape Architecture

Stromberg/Garrigan & Assoc., Inc.
102 E. Main Street - The Penn Bldg
Somerset, PA 15501

Historic Preservation & Architecture

Landmarks SGA, LLC
102 E. Main Street - The Penn Bldg
Somerset, PA 15501

Structural Engineer

R.L. Silman Associates
1053 31st Street NW
Washington D.C. 20007

Mech/Elect Engineer

Comfort Designs
620 Pennsylvania Avenue
Winchester, VA 22601

Architect

GROVE & DALL'OLIO
ARCHITECTS PLLC
220 WEST KING • MARTINSBURG, WEST VIRGINIA • 25401

Issue / Revision

Seal

1 Bid Phase Revisions 03/04/15

Drawing Title

**General Notes,
Legend, List of
Drawings**

Date 10/22/14

Scale Project Number 11105

Drawing Number

A1.1