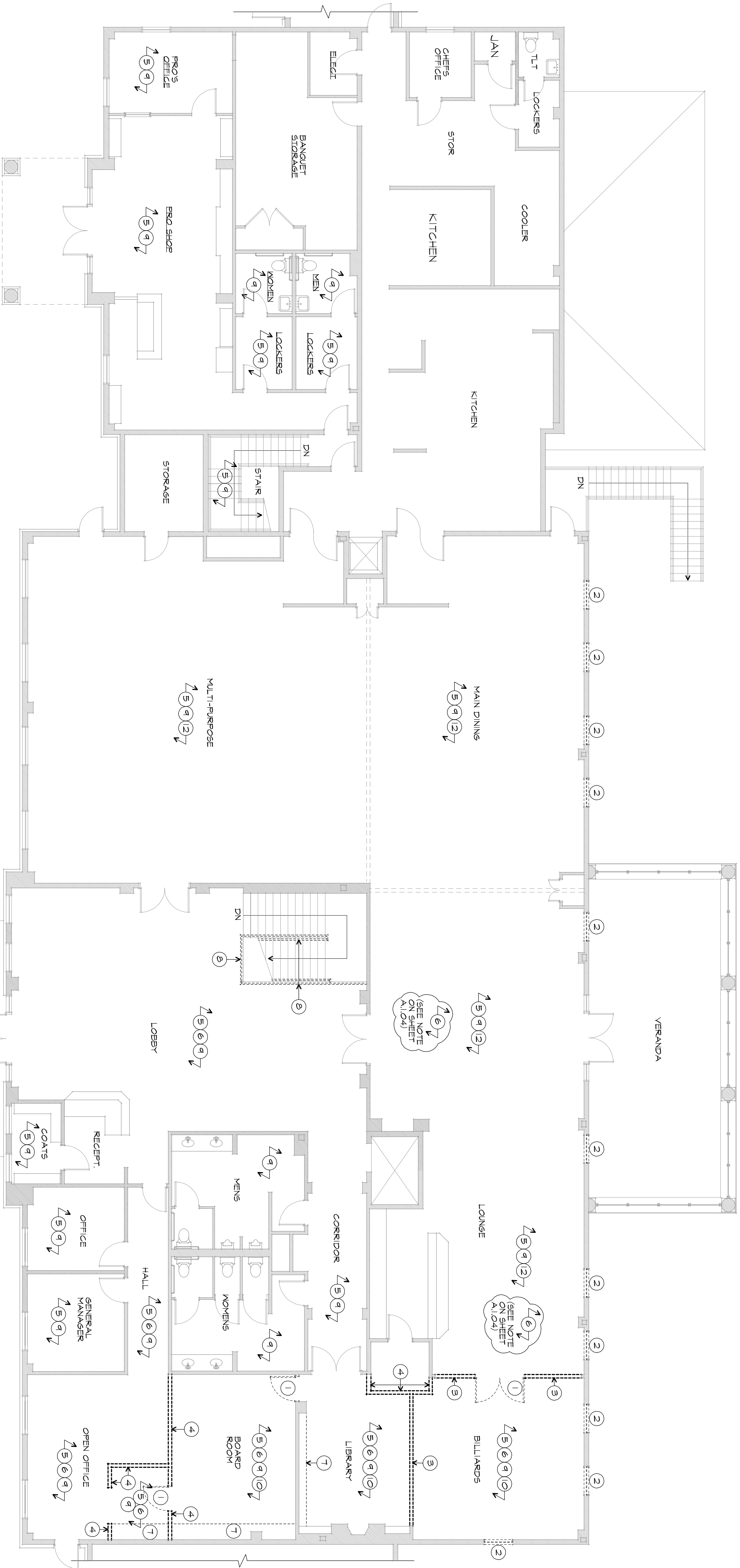


GENERAL DEMOLITION NOTES

1. THE SCOPE OF DEMOLITION WORK SHALL REQUIRE COORDINATION WITH THE NEW WORK INDICATED IN THE CONTRACT DOCUMENTS. A FULL UNDERSTANDING OF THE SCOPE OF DEMOLITION WORK REQUIRES A FULL UNDERSTANDING OF THE CONTRACT DOCUMENTS IN ADDITION TO THE DEMOLITION DRAWINGS.
2. THE SCOPE OF DEMOLITION AND REMOVAL WORK TO BE PERFORMED SHALL NOT BE LIMITED BY THIS DRAWING BUT SHALL INCLUDE ANY AND ALL WORK THAT MAY BE REQUIRED TO FACILITATE THE NEW CONSTRUCTION WORK SHOWN ON THESE DRAWINGS AND FURTHER DESCRIBED.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING AT THE TIME OF BIDDING AND FOR THE PURPOSE OF BIDDING, IN ORDER TO VERIFY ACTUAL CONDITIONS, DIMENSIONS, AND THE FULL SCOPE OF DEMOLITION AND REMOVAL WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS WHICH WOULD AFFECT THE INSTALLATION OF THE NEW WORK BEFORE PROCEEDING WITH DEMOLITION, REMOVAL OR NEW CONSTRUCTION.
4. THE CONTRACTOR SHALL DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER AND LEGALLY DISPOSE OF MATERIAL TO BE DISCARDED AWAY FROM THE PREMISES. WORK AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH WORKING DAY.
5. REMOVAL OF UNUSED ELECTRICAL, PLUMBING, AND MECHANICAL EQUIPMENT SHALL BE PERFORMED BY THE SPECIALIZED TRADE ABOVE WORK IS AFFECTED. ALL UNUSED UTILITIES TO BE SAFELY CAPPED OR REMOVED.
6. EXISTING CONDITIONS SHOWN ON THIS DRAWING, FINISH MATERIAL, INDICATIONS, DIMENSIONS, ELEVATIONS, DESCRIPTIONS OF EQUIPMENT, ETC. MAY NOT REFLECT ACTUAL CONDITIONS AT THE TIME DEMOLITION AND REMOVAL WORK IS TO PROCEED AND ARE GIVEN FOR GENERAL INFORMATION ONLY.
7. THE CONTRACTOR SHALL COORDINATE THE RETURN AND STORAGE OF SALVAGEABLE ITEMS WITH THE OWNER.
8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROTECTION AND / OR ENCLOSURE OF AREAS OF WORK AND PROTECTION OF AREAS WHERE THERE WILL BE NO NEW WORK. REMOVE TEMPORARY FACILITIES WHEN NO LONGER NEEDED.
9. THE CONTRACTOR SHALL MAINTAIN THE STABILITY, PLUMBNESS, AND LOAD CARRYING CAPACITY OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL PROVIDE SUCH BRACING, SHORING, AND OTHER TEMPORARY SUPPORTS AS NEEDED.
10. THE CONTRACTOR SHALL REMOVE WALLS AS SHOWN ON THE DRAWINGS AND PROVIDE NEW OPENINGS AND PENETRATIONS SHOWN OR REQUIRED FOR NEW WORK. REMOVALS SHALL BE CUT OR CHIPPED FLUSH WITH INTERSECTING WALLS. WHERE NEW OPENINGS IN EXISTING WALLS ARE REQUIRED, THE NEW ROUGH OPENING WIDTH SHALL MINIMIZE REMOVALS. ROUGH OPENINGS SHALL TAKE ALLOWANCES FOR FINISH FRAMES IN LAYERS INSTALLED ON FINISH FLUSH. THE NEW WORK, SIZES SHOWN ON THE DRAWINGS ARE FINISHED OPENING SIZES. THE CONTRACTOR SHALL PATCH OR REPAIR USING EQUIVALENT MATERIALS. THE NEW ROUGH OPENINGS OR FLUSH REMOVALS.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING FINISHES OR EQUIPMENT TO REMAIN OR BE SALVAGED. THIS SHALL INCLUDE WINDOWS, DOORS, WOOD MOLDINGS AND TRIM, HVAC EQUIPMENT AND DUCTS, PLUMBING FIXTURES AND PIPING, LOCKERS, ETC.
12. THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES REGARDING DEMOLITION, DUST CONTROL, COORDINATION WITH UTILITIES, AND DISCOVERED HAZARDS.
13. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IMMEDIATELY UPON DISCOVERY OF ASBESTOS OR OTHER HAZARDOUS MATERIALS DURING THE COURSE OF DEMOLITION WORK. HAZARDOUS MATERIAL REMOVAL, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE OWNER UNDER A SEPARATE CONTRACT.

ARCHITECTURAL DEMOLITION KEY

- 1 REMOVE DOOR, FRAME, THRESHOLD CASING, AND TRIM COMPLETE. PREPARE ADJOINING SURFACES TO RECEIVE NEW WORK.
- 2 REMOVE WINDOW FRAME CASING, AND TRIM COMPLETE. REMOVE SILL AND FINISHES AS SHOWN BY THE DEMOLITION KEY. PREPARE ADJOINING SURFACES TO RECEIVE NEW CASING, TRIM, ETC.
- 3 REMOVE SECTION OF WALL REQUIRED TO INSTALL NEW DOOR, WINDOW OR CASED OPENING, HEADER AND FRAME. SEE DOOR & WINDOW TYPES FOR OPENING SIZES, AND STRUCTURAL FOR NEW LINTELS, ETC.
- 4 REMOVE EXISTING PARTITION UP TO STRUCTURE. PREPARE EMBEDDED STRUCTURAL ELEMENTS TO REMAIN & ADJACENT FLOOR AND WALL SURFACES TO RECEIVE NEW WORK.
- 5 REMOVE EXISTING FLOOR FINISH IN AREA INDICATED & PREPARE SUBFLOOR TO RECEIVE NEW FLOOR FINISH.
- 6 REMOVE FINISHED CEILING COMPLETE, INCLUDING CEILING MOUNTED EQUIPMENT, LIGHT FIXTURES, CROWN MOULDING, TRIM, ETC. AND PREPARE ADJACENT WALLS TO RECEIVE NEW CONSTRUCTION.
- 7 REMOVE CASWORK, COUNTERTOPS, SHELVING, OR MILLWORK COMPLETE. RETAIN FOR OWNER & PREP ADJACENT SURFACES TO RECEIVE NEW WORK.
- 8 REMOVE STAIR HANDRAIL ASSEMBLY COMPLETE, INCLUDING RAILS, BALUSTERS, NEWEL POSTS, ETC. & PREPARE ADJACENT SURFACES TO RECEIVE NEW WORK.
- 9 PREPARE WALLS TO RECEIVE NEW PAINTED FINISH, INCLUDING REMOVAL OF WALL FINISHES SUCH AS FABRIC, WALLPAPER, ETC. IF APPLICABLE.
- 10 REMOVE ALL WOOD TRIM ELEMENTS, INCLUDING BASE, CHAIR RAIL, MANSCOTT PANELING, ETC. FROM AREA INDICATED, & PREPARE WALL SURFACE BELOW TO RECEIVE NEW WORK.
- 11 REMOVE PLUMBING FIXTURE & ASSOCIATED PLUMBING.
- 12 REMOVE ALL NON-RECESSED LIGHT FIXTURES FROM ROOM INDICATED & PREPARE FOR REPLACEMENT FIXTURES AS SHOWN ON ELECT. DWGS.



1 MAIN LEVEL DEMOLITION PLAN

1/8"=1'-0"

CLUBHOUSE RENOVATION
REGENCY
 AT DOMINION VALLEY, HAYMARKET, VA

ATWOOD HENNINGSEN KESTNER ARCHITECTS INC.
 1108 EAST HIGH STREET
 CHARLOTTESVILLE, VA 22902
 PHONE (434) 971-7202 FAX (434) 295-2413

DRAWING RELEASE	
NO.	DATE
1	11-11-15
2	12-11-15
REVISION	
NO.	DATE
1	1-7-14
PERMIT & MISC. REVISIONS	

MAIN LEVEL DEMOLITION PLAN

JOB NUMBER 1216 FILE NO. 1216-D101

D.1.02

SEAL