ABBREVIATIONS

文 ACOUS.	ANGLE ACOUSTIC	JAN. JT.	JANITOR JOINT
ACT	ACOUSTICAL CEILING TILE	LAM.	LAMINATE
A.D. ADJ.	AREA DRAIN ADJUSTABLE	LAV. LIN. FT.	LAVATORY LINEAR FEET
A.F.F.	ABOVE FINISHED FLOOR	LIN. FT. LG.	LINEAR FEET
AIR COND. ALT.	AIR CONDITIONING ALTERNATE	L.L.H. L.L.V.	LONG LEG HORIZONTAL LONG LEG VERTICAL
ALUM. ANCH.	ALUMINUM ANCHORED	MAS.	MASONRY
A.P.	ACCESS PANEL	MATL.	MATERIAL
APPROX. ARCH.	APPROXIMATE ARCHITECT	MAX. MECH.	MAXIMUM MECHANICAL
BD.	BOARD	MFGR.	MANUFACTURER
BIT.	BITUMINOUS	MIN. MISC.	MINIMUM MISCELLANEOUS
BLDG. BLK'G	BUILDING BLOCKING	M.O.	MASONRY OPENING
B.O.F.	BOTTOM OF FOOTING	MTD. MTL.	MOUNTED METAL
BOT. BRG.	BOTTOM BEARING	NAT.	NATURAL
DRG. E	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO. NOM.	NUMBER NOMINAL
C.J. CLG.	CONSTRUCTION JOINT CEILING	N.T.S.	NOT TO SCALE
CLG. HT.	CEILING HEIGHT	OA.	OVERALL
CLO. CLR.	CLOSET CLEAR	0/C 0.D.	ON CENTER OUTSIDE DIMENSION
CLR. CMU	CONCRETE MASONRY UNIT	0.D. OH.	OVERHANG
CNTRL. JT.	CONTROL JOINT	0/0 086	OUT TO OUT
C.O. COL.	CLEAN OUT COLUMN	OPG. OPP.	OPENING OPPOSITE
CONC.	CONCRETE	PL., PL	PLATE
CONT. CORR.	CONTINUOUS CORRIDOR	PLAS. LAM.	PLASTIC LAMINATE
C.T.	CERAMIC TILE	PLYWD. POL.	PLYWOOD POLISHED
CTR. Ø	CENTER	PREFAB.	PREFABRICATED
φ DBL.	DIAMETER DOUBLE	PREFIN. PR.	PREFINISHED PAIR
D.F.	DRINKING FOUNTAIN	P.T.	PRESSURE TREATED
DIA. DIM.	DIAMETER DIMENSION	PTD. P.V.C.	PAINTED POLYVINYL CHLORIDE
DR.	DOOR	R.	RISERS
DN. DS.	DOWN DOWNSPOUT	R.D.	ROOF DRAIN
DTL.	DETAIL	RECEPT. REINF.	RECEPTACLE REINFORCING
DWG.	DRAWING	REQ'D	REQUIRED
EA. E.J.	EACH EXPANSION JOINT	REV. RM.	RE∨ISED ROOM
	ELEVATION	RM. R.O.	ROUGH OPENING
ELEC.	ELECTRIC	SCHED.	SCHEDULE
EPX. EQ.	EPOXY PAINT EQUAL	SECT.	SECTION
EQUIP.	EQUIPMENT	SHT. SIM.	SHEET SIMILAR
E.W. E.W.C.	EACH WAY ELECTRIC WATER COOLER	S.M.P.	SOLID MASONRY PIER
	EXISTING	SPECS. SQ.	SPECIFICATIONS SQUARE
EXP. EXT.	EXPANSION EXTERIOR	ST. STL.	STAINLESS STEEL
F.D.	FLOOR DRAIN	STD. STND.	STANDARD STAINED
F.E.C.	FIRE EXTINGUISHER CABINET	STL.	STEEL
FIN. FL., FLR.	FINISH FL <i>OO</i> R	STOR. STRUCT.	STORAGE STRUCTURAL
FLUOR.	FLUORESCENT	SUSP.	SUSPENDED
F.O.EX. FURR.	FACE OF EXISTING FURRING/FURRED	SYM.	SYMMETRICAL
FT., '	FOOT/FEET	Т. Т\$ <i>G</i>	TREAD TONGUE & GROOVE
FTG.	FOOTING	TEL.	TELEPHONE
GA. GALV.	GAUGE GALVANIZED	THK. THRU.	THICKNESS THROUGH
G.C.	GENERAL CONTRACTOR	T.O.S.	TOP OF SLAB
GL.	GLASS GRADE	T.O.STL. TYP.	TOP OF STEEL TYPICAL
GRD.			UNLESS OTHERWISE NOTED
GRD. GYP. BD., GWB	GYPSUM WALL BOARD	U.O.N.	
GYP. BD., GWB H.C.	HANDICAPPED		
GYP. BD., GWB H.C. H.B.	HANDICAPPED HOSE BIB	VAR. V.C.T.	VARIES VINYL COMPOSITION TILE
GYP. BD., GWB H.C. H.B. HDW. H.M.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL	VAR. V.C.T. VERT.	VARIES VINYL COMPOSITION TILE VERTICAL
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL	VAR. V.C.T.	VARIES VINYL COMPOSITION TILE
GYP. BD., GWB H.C. H.B. HDW. H.M.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION \$	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ M. MD. MD. MD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ M. MD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION	VAR. V.C.T. VERT. VEST. V.I.F. V.W.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ M. MD. MD. MDM. MGT., MT. W/O	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.W.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INFORMATION INSULATION INTERIOR	VAR. V.C.T. VERT. VEST. V.I.F. V.M.C. W/ W. WD. WD. WD. WD. WD. WD. WD. WD. WD.	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
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GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN	VAR. V.C.T. VERT. VI.F. V.N.C. WV ND. WD. WD. WD. WD. WD. WD. WD. W	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INFORMATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN INDICATES SHEET	VAR. V.C.T. VERT. VI.F. V.N.C. WV ND. WD. WD. WD. WD. WD. WD. WD. W	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
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GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INFORMATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN INDICATES SHEET	VAR. V.C.T. VERT. VI.F. V.N.C. WV ND. WD. WD. WD. WD. WD. WD. WD. W	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
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GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INFORMATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN INDICATES SHEET	VAR. V.C.T. VERT. VII.F. V.M.C. WV ND. MD. MDW. MGT., WT. WO MP. WWF SEND SEND	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
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GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN INDICATES SHEET LOCATE SECTION INDICATES DETAIL	VAR. V.C.T. VERT. V.I.F. V.M.C. W ND. NDW. NDW. NDT. NDW. WF SEND SEND	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN INDICATES SHEET LOCATE SECTION INDICATES SHEET LOCATE SECTION	VAR. V.C.T. VERT. V.I.F. V.M.C. W ND. NDW. NDW. NDT. NDW. WF SEND SEND	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
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GYP. BD., GWB H.C. H.B. HDW. H.M. HORIZ. HT. HVAC I.D. IN., " INFO. INSUL. INT.	HANDICAPPED HOSE BIB HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCHES INFORMATION INSULATION INSULATION INTERIOR DOOR/FRAME - SEE SCHEDULE ROOM NUMBER COLUMN REFERS INDICATES DIREC OF CUTTING PLAN INDICATES SHEET LOCATE SECTION INDICATES SHEET LOCATE SECTION	VAR. V.C.T. VERT. VI.F. V.O. TO I.O.N.NO. TO I.O.N.NO. TO	VARIES VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING WITH WIDTH WOOD WINDOW WEIGHT WITHOUT WEATHERPROOF
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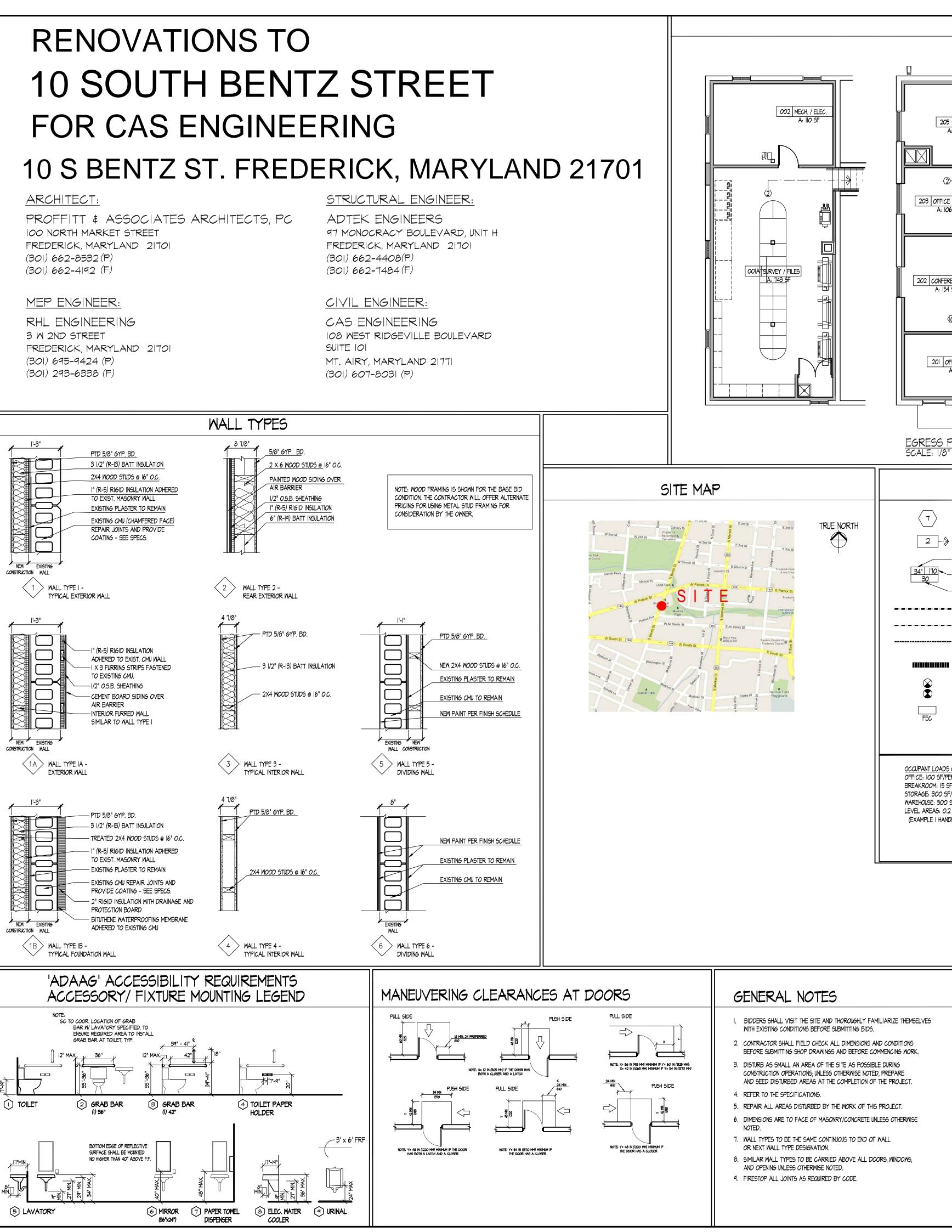
FEC

FIRE EXTINGUISHER CABINET;

LOCATIONS TO BE VERIFIED BY FIRE

EXTINGUISHER VENDOR

100 NORTH MARKET STREET FREDERICK, MARYLAND 21701



EGRESS PLAN	34" 170	
-		
25 OFFICE A: 227 SF 3 2 CE 106 SF CE 106 SF CE 106 SF CE 106 SF CE 107 BATHROOM A: 61 SF CE 107 BATHROOM A: 61 SF		Proffitt & Assoc. <u>ARCHITECTS</u> 100 NORTH MARKET STREET FREDERICK, MARYLAND 21701 (301) 662-8532 FAX (301) 662-4192 info@proffittandassociates.com
		I CERTIFY THAT THESE DOCUMENTS WERE PREFARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAMS OF THE STATE OF MARYLAND. LICENSE NO. 5238-A EXPIRATION DATE O5-25-15
OFFICE IO9 OFFICE A: 176 SF A: 126 SF A: 126 SF		DOCUME OR AP ARCHITEC THE 51
PLAN B" = 1'-0" PLAN NORTH TRUE NORTH		
LEGEND	DRAWING INDEX	
OCCUPANT LOAD	AO-I COVERSHEET	
	ARCHITECTURAL:	
TOTAL OCCUPANT LOAD MOVING IN DIRECTION OF EGRESS DIMENSION OF OPENING	AO-2 SPECIFICATIONS AO-3 SPECIFICATIONS	
- EGRESS CAPACITY OF DOOR(S)	DI-I DEMOLITION FLOOR PLAN & ELEVATIONS	
- OCCUPANT LOAD THRU EGRESS DOOR	AI-I FLOOR PLANS AI-2 ROOF PLAN	
REMOTENESS BETWEEN EXITS	A3-I EXTERIOR ELEVATIONS	BE
DIAGONAL DISTANCE	A3-2 EXTERIOR ELEVATIONS A4-1 BUILDING SECTIONS, STAIR SECTIONS	
I-HR FIRE RATED PARTITION	A5-1 WALL SECTIONS A5-2 DETAILS	ST
EXIT SIGNS	A6-I REFLECTED CEILING PLAN A7-I FINISH SCHEDULE & INTERIOR	G G 701
FEC - 10 LB 4A-80B:C MULTIPURPOSE FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET. COORDINATE FINAL LOCATION WITH FIRE MARSHAL	AT-2 DOOR SCHEDULE, WINDOW AND	
	DOOR DETAILS <u>STRUCTURAL:</u>	D BEN STREE
25 CALCULATED AS FOLLOWS: PERSON	SI-I STRUCTURAL NOTES SI-2 STRUCTURAL NOTES	
SF/PERSON SF/PERSON	S2-1 TYPICAL FOUNDATION DETAILS S2-2 TYPICAL FRAMING DETAILS	
0 SF/PERSON 0.2 INCHES/PERSON INDBOOK: 36" DOOR = 34" CLEAR/0.2" = 170 PEOPLE)	52-2 TYPICAL FOUNDATION DETAILS 53-2 BASEMENT AND FIRST FLOOR PLANS	ATIC AS CK, I CK, I
	53-3 ROOF FRAMING PLAN	
	S4-I FOUNDATION DETAILS S5-I FRAMING DETAILS	REN(10 FREDE
	PLUMBING:	
	PO.I BASEMENT & IST FL. PLAN PLUMBING - DEMO PI.I BASEMENT & IST FL. PLAN PLUMBING - NEW	ISSUE REV DATE DESCRIPTION
	P2.1 PLUMBING/PIPING SCHEDULES & DETAILS MECHANICAL:	4/8/14 BID SET SUBMISSION
	MI.I BASEMENT & FIRST FLOOR PLAN - HVAC M2.I DETAILS - HVAC	
	M2.2 SCHEDULES, NOTES & LEGEND - HVAC	
	EO.I BASEMENT & FIRST FLOOR PLAN - DEMO	
	EU.I BASEMENT & FIRST FLOOR FLAN - DEMO EI.I BASEMENT & FIRST FLOOR PLAN - POWER E2.I BASEMENT & FIRST FLOOR PLAN - LIGHTING	
	E3.I BASEMENT & FIRST FL. PLAN - FIRE ALARM	
	E4.I BASEMENT & FIRST FLOOR PLAN - SCHEDULE/DETAIL	
	CLARIFICATION: REFERENCES TO THE FREE	
	STANDING GARAGE ARE NOT APPLICABLE TO THIS SET OF DRAWINGS - THE GARAGE WILL BE	PROJECT NO.: 11–13 DATE: 3–7–2014
	SUBMITTED SEPARATELY	UNIE. <u>J</u> -7-2014
		COVERSHEET
		AO-I

VISION 01 - GENERAL REQUIREMENTS	DIVISION 03 - CONCRETE - (SEE STRUCTURAL DRAWINGS)	07200-THERMAL INSULATION	
ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CURRENT	DIVISION 04 - MASONRY - (SEE STRUCTURAL DRAWINGS)	1. BATT THERMAL INSULATION: OWENS CORNING PREFORMED GLASS FIBER BATT WITH FOIL/KRAFT PAPER FACE CONFORMING TO ASTM C66F. THERMAL RESISTANCE AND THICKNESS AS FOLLOWS:	
BUILDING CODE, LIFE SAFETY CODE, ADAAG AND OTHER BUILDING CODES ENFORCED BY CITY OF FREDERICK MARYLAND. EXTERIOR RESTORATION WORK SHALL ALSO CONFORM TO THE SECRETARY OF INTERIORS GUIDELINES	1. HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS: ASTM C-90, GRADE N-1, TYPE 1, FINE GRAINED, UNIFORM SURFACE TEXTURE, WITH ACCURATE FACE DIMENSIONS, SHARP CORNERS, LIGHT GRAY IN SURFACE COLOR. THICKNESS SHALL BE AS INDICATED ON DRAWINGS, NOMINAL	A. EXTERIOR WALL: R 19 (NOMINAL 6" THICKNESS) B. CEILING/ATTIC: R 38 (NOMINAL12" THICKNESS)	Droffift
ON BUILDING RESTORATION AND REHABILITATION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR	FACE SIZE SHALL BE 8"x16". 2. PRECAST CONCRETE LINTELS: AS REQUIRED AT OPENINGS IN MASONRY WALLS, 3000 PSI STRENGTH AT 28 DAYS.	 EXTRUDED POLYSTYRENE: UNDERSLAB AND FOUNDATION INSULATION - R 10 (NOMINAL 2" THICKNESS) AT INSIDE OF EXTERIOR WALLS - R5 (NOMINAL 1" THICKNESS) ACOUSTICAL INSULATION: OWENS CORNING SOUND ATTENUATION BATT INSULATION, ASTM C665 	Promiti a archi
TO THE COMMENCEMENT OF VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY ANCHORS, TIES,	 JOINT REINFORCEMENT: "STANDARD" CLASS TRUSS TYPE COMPOSED OF COLD DRAWN STEEL WIRE (ASTM A-82); 2 - NO. 9 GAUGE DEFORMED LONGITUDINAL WIRES, WELDED TO A 	 TYPE 1, AND ASTM E136, THICKNESS: TO COORDINATE WITH STUD DIMENSIONS, AND SPACING. 4. SPRAY APPLIED POLYURETHANE FOAM INSULATION: TWO COMPONENT FIRE RATED FOAM 	100 NORTH M FREDERICK, M (301) 6
CLIPS, HANGERS, BOLTS, AND OTHER FASTENING DEVICES AS REQUIRED BY CODE AND GOOD PRACTICE. INDIVIDUAL SUBCONTRACTORS FOR PLUMBING, ELECTRICAL, AND	 CONTINUOUS NO. 9 GAUGE CROSS WIRE WITH DRIP IN CAVITY; GALVANIZED AFTER FABRICATION. 4. WALL TIES: CORRUGATED FORMED SHEET METAL, .875"x7" - 16 GAUGE, ADJUSTABLE, HOT DIP GALVANIZED TO ASTM A123 B2. 	INSULATION SHALL CONFORM TO ASTM E84 WITHOUT THE USE OF AN ADDITIONAL THERMAL BARRIER. FLAME SPREAD SHALL NOT EXCEED 25 AND SMOKE DEVELOPED SHALL NOT EXCEED 450. FOAM SHALL BE APPLIED WHERE BATT INSULATION CAN NOT BE PLACED DUE TO SPACE LIMITATIONS BETWEEN THE EXTERIOR WALL AND EXISTING ROOF RAFTERS. ACCEPTABLE	FAX (301) info@proffittan
MECHANICAL SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, ETC., AND PERFORM ALL WORK IN CONFORMANCE TO ALL LOCAL CODES. THE JOB SITE IS TO BE LEFT CLEAN AND FREE FROM DEBRIS AT ALL	5. MORTAR MIXES (FOR NEW MASONRY CONSTRUCTION): TYPE S MORTAR TO CONFORM TO THE "MORTAR FOR UNIT MASONRY", ASTM C-270 PROPORTIONS BY VOLUME. NO ADMIXTURES PERMITTED.	MANUFACTURERS ARE AS FOLLOWS: A. TIGER FOAM E-84 B. FOMOFOAM E-84	
SUBSTITUTIONS OF SPECIFIED PRODUCTS WILL BE CONSIDERED ONLY UPON SUBMISSION OF PROOF OF EQUIVALENCE; THE ARCHITECT'S DECISION	6. FLASHINGS (HEAD, SILL, THROUGH WALL): CARLISLE PRE-KLEENED EPDM; 40 MIL PRE-WASHED EPDM. PROVIDE FLASHING AT LOCATIONS INDICATED ON THE DRAWINGS INCLUDING, OPENINGS, FLOOR/ROOF TRANSITIONS, CHANGES IN FLOOR LEVEL.	5. COMPRESSIBLE GAP FILLER: QUIETJOINT-SHG BY EMSEAL JOINT SYSTEMS FOR USE AT INTERFACE OF EXTERIOR WINDOWS AND DEMISING WALLS. GAP FILLER SHALL BE SILICONE WITH FINISHED	
AS TO EQUIVALENCY SHALL BE FINAL. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROPER FIT, PERFORMANCE, ADDITIONAL WORK, COORDINATION, AND EXPENSE RESULTING FROM SUBSTITUTION. THE ARCHITECT AND OWNER	7. QUALITY ASSURANCE: PERFORM WORK IN ACCORDANCE WITH BRICK INDUSTRY STANDARDS AND APPLICABLE CODES.	SURFACES ON THREE SIDES. COLOR AS SELECTED BY ARCHITECT FROM STANDARD COLOR SELECTIONS. CONFIRM REQUIRED PROFILE DIMENSION IN FIELD PRIOR TO ORDERING.	
RESERVES THE RIGHT TO DISAPPROVE SUBSTITUTIONS, IF IN HIS OPINION, THEY ARE NOT EQUAL IN QUALITY, DURABILITY, APPEARANCE, STRENGTH, PERFORMANCE, DESIGN, PHYSICAL DIMENSION, OR ARRANGEMENT TO THE EQUIPMENT OFFERED BY THE SPECIFIED MANUFACTURER.	8. RESTORE / REPAIR EXISTING MASONRY USING LIKE MATERIALS. TEST COMPOSITION OF EXISTING MORTAR AND MATCH FOR NEW MORTAR USED IN REPOINTING. CONSULT SECRETARY DIVISION INSTEMPORIES FOR MASONRY RESTORATION.	 INSTALLATION - COMPRESSIBLE GAP FILLER A. INSTALL GAP FILLER FROM A SINGLE PIECE NEAT AND PLUMB TO ADJOINING SURFACES. B. VOIDS, GAPS, AND MULTIPLE PIECES WILL NOT BE ACCEPTED 	
PROVIDE PROPER STORAGE FOR ALL MATERIALS AND EQUIPMENT. COORDINATE SITE ACCESS, STORAGE AND PARKING AREAS WITH OWNER AND WITH AUTHORITIES OF JURISDICTION.	05120 - STRUCTURAL STEEL - (SEE STRUCTURAL DRAWINGS)	07250 - FIRE RESISTIVE JOINT SYSTEMS	T THESE SY ME, AND Y LICENSED AND AND AND AND
NOTIFY PARTIES OWNING UTILITIES WHICH WILL INTERFERE WITH THE EXECUTION OF THE WORK TO REMOVE OR RELOCATE THEM. IN THE EVENT THAT COST OF SUCH REMOVALS OR RELOCATION'S ARE NOT BORNE BY THESE PARTIES	 05500 - METAL FABRICATIONS 1. PROVIDE GUARD RAILINGS AS INDICATED ON THE DRAWINGS CONSISTING OF A 1/2" DIA. STEEL PIPE AND 1/2" X 1 1/2" STEEL BAR COMPLYING WITH ASTM A-53, TYPE E OR TYPE S, GRADE A. 	1. GENERAL: PROVIDE FIRE RESISTIVE JOINTS AT FIRE RESISTANCE RATED PARTITIONS, FLOOR ASSEMBLIES, PENETRATIONS, AND SHAFTS. FIRE RESISTANCE OF THE JOINTS SHALL EQUAL THE RATING OF THE ASSOCIATED ASSEMBLY.	CERTIFY THA- UMENTS WERE (APPROVED E (1 AM A DUL) (11TECT UNDER)
SUCH COST SHALL BE PAID BY THE OWNER. GROUPING OF SPECIFICATIONS INTO DIVISIONS IS NOT INTENDED TO DELINEATE DIVISIONS OF TRADES UNDER THE CONTRACT. COMPLAINTS REGARDING DIVISION	FABRICATION SHALL BE HOT DIPPED GALVANIZED (SHOP PERFORMED) PRIOR TO DELIVERY TO SITE. <u>DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES</u>	2. PRODUCTS: PROVIDE JOINT MATERIALS THAT COMPLY WITH UL 2079 AND APPLICABLE CODES. ACCEPTABLE MFR'S INCLUDE BUT ARE NOT LIMITED TO: HILTI, 3M, AND TREMCO.	
OF RESPONSIBILITIES WILL NOT BE ENTERTAINED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CLEARLY DEFINING SUBCONTRACTOR SCOPE OF WORK.	06114-WOOD BLOCKING & CURBING 1. NONLOAD BEARING MEMBERS: STANDARD GRADE DOUGLAS FIR, WESTERN LARCH, WESTERN	3. INSTALLATION: INSTALL JOINT MATERIALS IN ACCORDANCE WITH MFR'S INSTRUCTION ON A CLEAN AND DRY SUBSTRATE.	
ALL BIDDERS SHALL CAREFULLY EXAMINE THE BIDDING DOCUMENTS, INSPECT THE SITE, ACQUAINT THEMSELVES WITH ALL GOVERNING LAWS AND CODES, AND FAMILIARIZE THEMSELVES WITH ALL MATTERS AFFECTING THE WORK. ANY ITEMS NOT QUESTIONED DURING THE BID PERIOD SHALL BE PROVIDED AS REQUIRED.	 HEMLOCK (WWPA OR WCLA) OR NO. 2 DIMENSION SOUTHERN PINE (SPIB). 2. BLOCKING: NO. 2 COMMON GRADE OF ANY WWPA OR WCLA SPECIES OR NO. 2 SOUTHERN PINE BOARDS (SPIB). BLOCKING SHALL INCLUDE ANY WOOD MATERIAL, WITHOUT REGARD TO SIZE OR 	07610 - SHEET METAL FLASHING AND TRIM 1. COPING COVER - MFR'D FROM .032 PREFINISHED ALUMINUM WITH KYNAR FINISH. COLOR AS SELECTED BY ARCHITECT.	
COMPLETE IN ALL RESPECTS. ALL INTERPRETATIONS OF BIDDING DOCUMENTS SHALL BE ISSUED ONLY IN THE FORM	LENGTH, WHICH IS REQUIRED FOR THE SECURE FASTENING, STIFFENING, ANCHORING OR HANGING OF ANY CORNICE, SOFFIT, EAVES, WATER TABLE, CABINET, COUNTER, OR ATTAINMENT OF ANY PROFILE SHALL BE PROVIDED OF PROPER STRENGTH TO FULLY SECURE OR SUPPORT AS IF FULLY DETAILED OR SPECIFIED.	2. GUTTER AND DOWNSPOUT - SIZE AS SHOWN ON DRAWINGS. MFR'D FROM .032 PREFINISHED ALUMINUM WITH KYNAR FINISH. COLOR AS SELECTED BY ARCHITECT.	
OF WRITTEN ADDENDA, WHICH WILL BECOME PART OF THE CONTRACT DOCUMENTS.	3. WOOD BLOCKING OR NAILERS ON STEEL FRAMING SHALL BE BOLTED THERETO. WOOD GROUNDS SHALL ALSO BE PROVIDED FOR SECURING EQUIPMENT FURNISHED UNDER OTHER SECTIONS OF	07460 - COMPOSITE SIDING AND TRIM - INCLUDED IN ADD ALTERNATE ONLY	
FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR" (AIA DOCUMENT A101) SHALL BE THE CONSTRUCTION CONTRACT FORM. "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (AIA DOCUMENT A201) SHALL BE A BINDING PART OF ANY AGREEMENT EVEN IF THE AIA CONTRACT IS NOT USED.	SHALL ALSO BE PROVIDED FOR SECORING EQUIPMENT FORNISHED UNDER OTHER SECTIONS OF THESE SPECIFICATIONS. PROVIDE BLOCK NAILERS AS REQUIRED FOR SHEET METAL WORK. BLOCKING ADJACENT TO ROOF INSULATION SHALL BE FULL THICKNESS OF INSULATION AND SHALL FINISH FLUSH WITH TOP SURFACE.	 FURNISH AND INSTALL FIBER-CEMENT SIDING, FASCIA, MOLDING, AND ACCESSORIES WHERE SHOWN ON DRAWINGS OR AS SPECIFIED HEREIN. PRODUCTS TO BE INSTALLED OVER: NOMINAL 2 INCH X 6 INCH WOOD FRAMING MINIMUM 1¹/₂ INCH FACE AND STRAIGHT, TRUE, OF UNIFORM DIMENSIONS AND PROPERLY ALIGNED AND SHEATHED 	
PROVIDE PROPER INSURANCE AS REQUIRED BY GENERAL CONDITIONS; LOCAL STATE, AND NATIONAL BUILDING REGULATIONS; AND AUTHORITIES HAVING JURISDICTION TO ADEQUATELY PROTECT PERSONS AND PROPERTY.	4. SIZE AND SHAPES: NOMINAL SIZES SHOWN AND SPECIFIED REFER TO UNDRESSED LUMBER DIMENSIONS. DRESS LUMBER 4 SIDES (S4S) UNLESS OTHERWISE SHOWN OR SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE WEST COAST LUMBER INSPECTION BUREAU, GRADING AND DRESSING RULES, WORKED TO SHAPES AND PATTERNS SHOWN. ALL LUMBER	 FACE AND STRAIGHT, TRUE, OF UNIFORM DIMENSIONS AND PROPERLY ALIGNED AND SHEATHED WITH O.S.B. INCLUDING THE USE OF WEATHER-RESISTIVE BARRIERS AND/OR VAPOR BARRIERS WHERE SHOWN. WARRANT PRODUCTS AGAINST MANUFACTURING DEFECTS IN SIDING FOR 50 YEARS AND TRIM FOR 	
THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING, BRACING, AND TAKE OTHER PRECAUTIONS NECESSARY FOR SAFETY AS REQUIRED BY CODE AND PRACTICE.	 5. ALL LUMBER IN DIRECT CONTACT WITH MASONRY, CONCRETE OR EARTH SHALL BE PRESERVATIVE TREATED. 	 WARRANT PRODUCTS AGAINST MANUFACTURING DEFECTS IN SIDING FOR 50 YEARS AND TRIM FOR 10 YEARS. WORKMANSHIP: APPLICATION LIMITED WARRANTY FOR 10 YEARS. MANUFACTURERS: 	
FURNISH TEMPORARY PROTECTION, BARRICADES, LIGHTS, SIGNALS, AND OTHER PROTECTION REQUIRED BY STATE OR LOCAL LAWS AND ORDINANCES FOR THE FULL PERIOD OF OPERATION.	 WOOD ROOF DECK: WHERE REQUIRED, SUPPLEMENT EXISTING DECK WITH NEW 5/8" PLYWOOD DECK AND NEW BLOCKING. 	4. MANUFACTORERS. A. JAMES HARDIE BUILDING PRODUCTS. B. CERTAINTEED. C. NICHIHA USA, INC.	
PROVIDE TEMPORARY OFFICE AND TOILET FACILITIES AS REQUIRED. UNLESS OTHERWISE AGREED WITH OWNER, PROVIDE TEMPORARY POWER AND HEAT FOR DURATION OF CONSTRUCTION.	7. FASTENERS: HOT-DIPPED GALVANIZED STEEL FOR HIGH HUMIDITY AND TREATED WOOD LOCATIONS, UNFINISHED STEEL ELSEWHERE.	5. SIDING PROPERTIES:	ŬŢ I
JOB MEETINGS SHALL BE ATTENDED BY THE CONTRACTOR, HIS FIELD SUPERINTENDENT, A REPRESENTATIVE FROM EACH MAJOR SUBCONTRACTOR ACTIVE ON THE SITE AT THE TIME AND REPRESENTATIVES FROM OTHER SUBCONTRACTORS, AT THE REQUEST	8. ANCHORS: TOGGLE BOLT TYPE FOR ANCHORAGE TO HOLLOW MASONRY. EXPANSION SHIELD AND LAG BOLT TYPE FOR ANCHORAGE TO SOLID MASONRY OR CONCRETE. BOLT FOR ANCHORAGES TO STEEL.	A. TYPE: LAP SIDING B. THICKNESS: 5/16" C. WEIGHT: 2.3 LBS./SQ. FT.	
OF THE ARCHITECT. JOB MEETINGS WILL BE HELD EVERY TWO WEEKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING SHOP DRAWINGS,		D. LENGTH: 12' PLANKS E. WIDTH: 7.25" (6" EXPOSURE) F. TEXTURE: SMOOTH	
PROJECT DATA AND SAMPLES, VERIFYING FIELD MEASUREMENTS, COORDINATING EACH SUBMITTAL WITH ALL TRADES AND APPROVING EACH SUBMITTAL BEFORE THEY ARE SUBMITTED TO THE ARCHITECT FOR REVIEW.	1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL LAMINATE CASEWORK, SHELVING, END PANELS, ETC. IN LOCATIONS AS INDICATED ON THE CONSTRUCTION DRAWINGS.	 NON-ASBESTOS FIBER-CEMENT SIDING AND TRIM TO COMPLY WITH ASTM STANDARD SPECIFICATION C1186 GRADE II, TYPE A. 	Ш р Ш
CONTRACTOR SHALL NOTIFY ARCHITECT, IN WRITING AT TIME OF SUBMISSION, OF ANY DEVIATIONS IN SUBMITTALS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL MAKE SUBMITTALS SUFFICIENTLY IN ADVANCE OF PURCHASING AND CONSTRUCTION REQUIREMENTS TO PERMIT NO LESS THAN 14 WORKING DAYS	 WALL AND BASE CABINETS SHALL BE CUSTOM MANUFACTURED OR EQUAL APPROVED BY THE ARCHITECT. CASEWORK SHALL CONFORM TO INDUSTRY STANDARDS. ALL CASEWORK, ACCESSORIES, ATTACHING DEVICES, CLOSURES, AND 	7. FASTENERS: WOOD FRAMING: 0.093" SHANK X 0.222" HEAD CORROSION RESISTANT SIDING NAILS, LENGTH AS REQUIRED BY SIDING / TRIM THICKNESS AND DEPTH OF SUBSTRATE.	
FOR CHECKING AND APPROPRIATE ACTION BY ARCHITECT. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR DELAYS CAUSED BY INADEQUATE COORDINATION.	 FILLERS SHALL BE INSTALLED PLUMB AND TRUE AND SECURELY ANCHORED IN PLACE. 4. WALL CABINETS SHALL BE SECURELY FASTENED TO STUDS OR HORIZONTAL 	8. INSTALLATION - SIDING OVER FRAMED/SHEATHED WALLS: ALIGN SIDING VERTICAL JOINTS ON CENTER OF STUDS. PROVIDE BLOCKING BETWEEN STUDS FOR NAILING OF BATTENS. BLOCK	OU ⁷
THE CONTRACTOR SHALL GENERATE AND MAINTAIN A CONSTRUCTION SCHEDULE FOR APPROVAL; THIS SCHEDULE SHALL MEET THE CONTRACT COMPLETION DATE; THIS SCHEDULE SHALL BE UPDATED AS NECESSARY, AND PRESENTED FOR DISCUSSION	 WALL CABINETS SHALL BE SECURELY FASTENED TO STUDS OR HORIZONTAL BLOCKING IN THE WALLS. INSTALL COUNTERTOPS ON BASE CABINETS WITH SCREWS. 	FRAMING BETWEEN STUDS WHERE PANEL SIDING HORIZONTAL JOINTS OCCUR. MAINTAIN 2" CLEARANCE BETWEEN SIDING AND ADJACENT FINISHED GRADE.	
RECORD SHOP DRAWINGS, DIAGRAMS, MANUALS, "AS-BUILT" DRAWINGS: SUBMIT THREE (3) BOUND SETS OF COPIES OF THE FOLLOWING:	 PLASTIC LAMINATE SHALL BE 0.050" THICK HIGH PRESSURE LAMINATE AS MANUFACTURED BY WILSONART AS SELECTED BY ARCHITECT, OR APPROVED EQUAL. COLOR AS SELECTED BY ARCHITECT. WOOD GRAINS TO BE INSTALLED AS DIRECTED BY ARCHITECT. 	9. COMPLETED INSTALLATION: WEATHERTIGHT - PROVIDE SEALANT AND GASKETS AS REQUIRED.	9 REN
DETAILED WIRING DIAGRAMS OF ALL SIGNAL SYSTEMS, TEMPERATURE CONTROL SYSTEMS, AND EQUIPMENT INTERLOCKS SYSTEMS	9. CABINET COMPONENTS SHALL BE OF THE FOLLOWING MINIMUM PARTICLE BOARD CORE THICKNESSES:		
LUBRICATION TYPE, LOCATION AND SCHEDULE FOR EACH PIECE OF EQUIPMENT REQUIRED MAINTENANCE DATA AND SCHEDULES OTHER THAN LUBRICATION FOR EACH	A. 1/2 INCH: CABINET BACKS, DRAWER BODY, AND DRAWER BOTTOMS.	1. THROUGHOUT THE WORK, SEAL AND CAULK JOINTS WHERE SHOWN ON THE DRAWINGS, AND ELSEWHERE AS REQUIRED, TO SEAL JOINTS AND CRACKS, AS PER GOOD INTERIOR CONSTRUCTION PRACTICES.	REV DATE DE 4/8/14 BIE
PIECE OF EQUIPMENT FILTER TYPES AND REQUIRED MAINTENANCE FOR EACH PIECE OF AIR HANDLING EQUIPMENT	B. 3/4 INCH: DOOR AND DRAWER FACE, BASE, CABINET TOPS AND BOTTOMS, CABINET SIDES, DRAWER SPREADERS, CABINET BACK REAR HANGSTRIPS, STRUCTURAL DIVIDERS, AND SHELVES IN CABINETS.	2. INSTALL MATERIALS IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS	
CATALOGUE CUTS WITH DESCRIPTIVE LITERATURE OF EACH PIECE OF MECHANICAL AND ELECTRICAL EQUIPMENT	C. 1 INCH: HORIZONTAL WORK SURFACES. 10. INSTALL BLOCKING AND NAILERS AS REQUIRED FOR THE SECURE FASTENING OF SURFACE FINISHES	OF THEIR MANUFACTURERS, TOOLING THE JOINTS TO A NEAT AND SMOOTH PROFILE.	
ONE RECORDED COPY OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED CURRENTLY TO RECORD ALL CHANGES MADE DURING CONSTRUCTION, AND ALL SHOP DRAWINGS, PRODUCT DATA AND SAMPLES	AND SPECIALTIES; FIRE RETARDANT TREATED AS REQUIRED BY CODE 11. HARDWARE: CONCEALED PIVOT HINGES, ALUMINUM PULLS, RECESSED SHELF STANDARDS, DRAWER SLIDES WITH MIN 100 LB LOAD RATING.	 4. EXTERIOR SEALANT: SIKAFLEX-1A, PREMIUM GRADE, OR COMPONENT, POLYURETHANE SEALANT, FED. SPEC. TT-S-00230C, TYPE II, CLASS A, COLOR AS SELECTED BY ARCHITECT. 4. INTERIOR SEALANT (AT AREAS TO BE PAINTED: ACRYLIC LATEX CALL & AND SEALANT COMPOLIND) 	
PRODUCT DATA AND SAMPLES. CONTRACTOR SHALL WARRANT THE WORK INCLUDING DEFECTS IN MATERIALS AND WORKMANSHIP FOR A MINIMUM OF 1 YEAR (2 YEARS FOR MECHANICAL / ELECTRICAL SYSTEMS) FROM THE DATE OF	DIVISION 07 - THERMAL AND MOISTURE PROTECTION	 INTERIOR SEALANT (AT AREAS TO BE PAINTED: ACRYLIC LATEX CAULK AND SEALANT COMPOUND, ASTM C-834 PERMANENTLY FLEXIBLE, NON-STAINING, NON-BLEEDING, AND PAINTABLE. 	
SUBSTANTIAL COMPLETION AS DESCRIBED IN THE GENERAL CONDITIONS. SUBMIT ALL WARRANTIES / GUARANTEES AND SIMILAR CERTIFICATES UPON COMPLETION OF THE WORK.	07100 - SHEET MEMBRANE WATERPROOFING 1. WATERPROOFING SYSTEM: MEMBRANE SHALL BE BITUTHENE 4000 SYSTEM BY W.R. GRACE FOR	5. BACK-UP MATERIALS: FLEXIBLE CLOSED CELL, EXPANDED POLYSTYRENE OR POLYETHYLENE ROUND RODDING, WITH DIAMETER 1.333 TIMES WIDTH OF JOINT	
<u>VISION 02 - SITEWORK</u> - (ALSO SEE CIVIL DRAWINGS) DEMOLITION: DEMOLISHED CONCRETE, MASONRY, AND ASPHALT SHALL BE DISPOSED OF IN AN APPROVED MANNER AT THE CONTRACTOR'S EXPENSE. DOORS, HARDWARE, AND LIGHTS SHALL	INSTALLATION WHEN AIR TEMPERATURE IS ABOVE 25 DEGREES F. SYSTEM SHALL BE SELF ADHERING AND SHALL INCLUDE MASTIC, PRIMERS, AND PROTECTION BOARD (2 LAYERS 1" THICKNESS). PROVIDE FLEXIBLE FLASHINGS AS REQUIRED TO NEGOTIATE TRANSITIONS,	6. PRIMERS, CLEANERS AND BOND BREAKER TAPE: PROVIDE AS RECOMMENDED BY SEALANT MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE CONDITIONS AND LOCATIONS INDICATED	
BE RETURNED TO THE OWNER FOR REUSE OR DISPOSAL. ALL OTHER MATERIALS SHALL BE DISPOSED OF IN AN APPROVED MANNER AT THE CONTRACTOR'S EXPENSE.	 PENETRATIONS, AND CHANGES IN MATERIAL. 2. INSTALLATION: INSTALL MEMBRANE WATERPROOFING IN ACCORDANCE WITH MFR'S INSTRUCTIONS ON A CLEAN AND DRY SUBSTRATE. MINIMIZE WRINKLES AND ROLL ON SUBTRATE TO ENSURE FULL 	ON THE DRAWINGS.	PROJECT NO DATE:
EXCAVATED MATERIALS: SATISFACTORY EXCAVATED MATERIALS SHALL BE REMOVED AND STOCKPILED FOR REPLACEMENT. FILLING AND BACKFILLING: SATISFACTORY MATERIALS SHALL BE USED TO ESTABLISH LINES AND	CONTACT BOND. LAP SIDES AND ENDS IN ACCORDANCE WITH MFR'S INSTRUCTIONS. INSTALL CANT STRIPS AS INDICATED TO TRANSITION FROM HORIZONTAL TO VERTICAL SURFACES.	7. THROUGH -PENETRATION FIRESTOP: USG INTERIORS, INC. THERMAFIBERS SYSTEM 165, INCLUDING SCHEDULE 40 SLEEVES, FORMING MATERIAL (MINERAL WOOL BATTS), AND USG INTERIORS SMOKE SEAL COMPOUND	SPECIF
GRADES AS INDICATED. FILL MATERIALS SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY			

AO-2	
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	ION 08 - OPENINGS			ARDWARE	
۱.	D-METAL DOORS AND FRAMES MANUFACTURERS: MANUFACTURERS ARE SUBJECT TO EVALUATION AND INCLUSION BY		AL	L DOORS TO MEET A	RD DUTY COMMERCIAL GRADE HARDWARE WITH LEVER TRIM F NSI A117.1 AS SCHEDULED AND SPECIFIED HEREIN.
	ARCHITECT/SPECIFIER. ACCEPTABLE MANUFACTURERS: A. CECO CORPORATION - CHICAGO, IL B. REPUBLIC BUILDER PRODUCTS CORPORATION - ATLANTA, GA	2.		FERENCED AWI STAN	ITH MANUFACTURER'S INSTRUCTIONS AND OR NDARD.
	C. CURRIES/ASSA ABLOY - MASON CITY, IA	3.	AC	CEPTABLE MANUFAC	CTURERS:
2.	CONSTRUCT EXTERIOR AND INTERIOR DOOR OF GAUGE AS SPECIFIED:				HINGES LOCKSETS, EXIT BOLTS, CLOSERS
	A. EXTERIOR DOORS: 16 GAUGE GALVANNEALEDB. INTERIOR DOORS: 18 GAUGE COLD ROLLED STEEL		RO PE	OCKWOOD MKO	FLOOR STOPS, WALL STOPS THRESHOLDS, WEATHERSTRIPPING, DOOR SWEEPS REMOVABLE MULLIONS
	ALL HOLLOW METAL DOORS SHALL BE CONSTRUCTED FLUSH WITH VISIBLE EDGE SEAMS OF COLD-ROLLED STEEL OR HOT DIPPED GALVANNEALED STEEL. REINFORCE, STIFFEN, SOUND DEADEN				RIALS OR MANUFACTURERS WILL BE ACCEPTED WITHOUT PRIO
	AND INSULATE DOORS WITH IMPREGNATED KRAFT HONEYCOMB CORE OR POLYSTYRENE CORE. PROVIDE DOORS WITH CONTINUOUS VERTICAL MECHANICAL INTER-LOCKING JOINTS AT LOCK AND HINGE	4.		NGES:	
	EDGES WITH VISIBLE EDGE SEAMS, OR A ONE PIECE FULL HEIGHT 14 GAUGE CHANNEL. DOORS SHALL HAVE BEVELED (1/8" IN 2") HINGE AND LOCK EDGES. SQUARE EDGES ON HINGE AND LOCK STILES ARE NOT ACCEPTABLE. TOP AND BOTTOM REINFORCEMENT CHANNELS SHALL BE 14 GAUGE AND WELDED TO			ALL HINGES TO BI HINGES SHALL BE	E HEIGHT SHOWN WITH PROPER THROW TO CLEAR TRIM NEATI E FLAT BUTTON TIPS AND MATCHING PLUG, FINISHED TO MATCH
	BOTH PANELS. DOOR TOPS SHALL NOT HAVE HOLES OR OPENINGS. REINFORCE DOORS TO ACCEPT HARDWARE AS FOLLOWS:			SHALL BE EQUIPP	ISE SCHEDULED, ALL DOORS UP TO AND INCLUDING 60 INCHES PED WITH THREE (3) HINGES OR PIVOTS AND ONE (1) ADDITIONA ADDITIONAL TWO AND A HALF FEET THEREOF THE HEIGHT OF T
	A. HINGE REINFORCEMENTS FOR FULL MORTISE HINGES SHALL BE MIN. 7 GAUGE.		B.	HINGES FOR EXTE	ERIOR DOORS OPENING OUT SHALL HAVE NON-REMOVABLE PIN
	B. LOCK REINFORCEMENTS SHALL BE MIN. 16 GAUGE.C. CLOSER REINFORCEMENTS SHALL BE MIN. 20 GAUGE AND MIN. 20" LONG.		•	SOLID BRONZE BA	
	PROVIDE GLASS TRIM OF MIN. 24 GAUGE FOR DOORS WITH CUTOUTS. INSTALL TRIM INTO THE DOOR AS A FOUR SIDED WELD ASSEMBLY. THE CORNERS OF THE ASSEMBLY SHALL BE MITERED, REINFORCED AND WELDED.	5.		BALL BEARING HI GREASE. CKSETS AND EXIT DE	NGES SHALL BE ATTACHED TO THE HINGES AND SHALL BE PAC
	ALL FRAMES SCHEDULED TO BE INSTALLED IN MASONRY SHALL BE FACTORY FABRICATED IN FULL WITH	0.			BE CORBIN-RUSSWIN HEAVY DUTY LEVER LOCKSETS, CL3500
	ALL JOINTS MITERED, DIE CUT AND REINFORCED CORNER JOINTS, WELDED AND GROUND SMOOTH.				E CURBED LIP WITH PROPER LENGTH TO PROTECT JAMB AND T
	A. EXTERIOR FRAMES SHALL BE 14 GAUGE GALVANNEALED.B. INTERIOR FRAMES SHALL BE 14 GAUGE COLD ROLLED STEEL.		C) SUIT CONDITIONS. TION, EXIT BOLTS ARE TO HAVE SEX NUTS AND BOLTS, LOCK CA
	ALL FRAMES SCHEDULED TO BE INSTALLED IN GYPSUM BOARD CONSTRUCTION SHALL BE "KNOCK-DOWN" TYPE, OF 16 GAUGE PRIME QUALITY COLD ROLLED SHEET STEEL WITH MITERS HAVING A HAIRLINE JOINT WHEN ASSEMBLED.			HINGE CASE.	ETS SHALL BE CORBIN-RUSSWIN PRINCETON (AZD) LEVER DESI
	PRIME PAINTING: ALL HOLLOW METAL DOORS AND FRAMES SHALL BE CLEANED AND THEN PRIMED			OTHERWISE NOTE	ED.
	PAINTED WITH RUST RESISTANT METAL PRIMER.				S SHALL BE CORBIN RUSSWIN ED5200 SERIES WITH RIM CONFI
)8200	PRE-HUNG MOLDED WOOD DOORS	6.		OSERS:	
	MANUFACTURERS: MANUFACTURERS ARE SUBJECT TO EVALUATION AND INCLUSION BY ARCHITECT/SPECIFIER. ACCEPTABLE MANUFACTURERS:		Α.	CLOSERS SHALL I SPINDLE AND PIS	ERS SHALL BE UL LISTED - DC6210 AS MANUFACTURED BY COR BE OF RACK AND PINION CONSTRUCTION, BOTH OF HEAT-TREA TON ARE EACH TO BE MACHINED FROM ONE PIECE, HIGH TENS ND PRECISION GROUND. CASE SHALL BE HIGH DENSITY SPECI
	 A. MASONITE B. RELIABUILT C. APPROVED EQUAL 			ALLOY CAST IRON HEAT-TREATED.	N. SPRINGS SHALL BE HIGH TENSILE COMPRESSION TYPE, OIL VALVES SHALL BE NEEDLE TYPE, NON-CRITICAL, WITH O-RING OTTOM NEEDLE-TYPE BEARINGS AND SPRING LOADED UNIT-TY
	PROVIDE PRE-HUNG MOLDED HI-DENSITY FIBERBOARD DOORS AS SHOWN ON PLAN. EXPOSED EDGES. DOOR THICKNESS: 1 3/4".		B.	VALVES. ALL VAL	TCHING SPEEDS SHALL BE CONTROLLED BY SEPARATE, NON-C VES SHALL BE CONCEALED TO PROVIDE PROTECTION AGAINS AMPERING. ARMS SHALL BE OF FORGED STEEL AND WROUGH
	FACTORY PREFIT AND BEVEL DOORS (3 DEG.) AND MATCH TO FRAME SIZES INDICATED,		C.		SHALL BE UNIVERSAL TYPE, NON-HANDED. THE SAME MODEL (
	FACTORY PRE-MACHINE DOORS FOR HARDWARE THAT IS NOT SURFACE APPLIED. LOCATIONS AND HOLE PATTERNS TO COMPLY WITH SPECIFIED HARDWARE REQUIREMENTS AS PER NFPA 80 STANDARDS FOR DOORS SPECIFIED; AND TO MAINTAIN DOOR MANUFACTURERS WARRANTY.			SURFACE APPLIE REGULARLY FURM POWER. CHECKIN	EGULAR, TOP JAMB AND PARALLEL ARM APPLICATION. COVER D WITH RECTANGULAR DESIGN. NON-HOLD-OPEN CLOSERS SH NISHED WITH A REVERSIBLE POWER BRACKET TO PROVIDE 159 IG FLUID SHALL BE HIGH LUBRICITY AND LOW POUR POINT. SE ONCEALED SCREWS SHALL BE USED TO INSURE QUICK AND AC
δ.	INSTALL TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND OR REFERENCED AWI STANDARD.			INSTALLATION.	UNCEALED SCREWS SHALL BE USED TO INSURE QUICK AND AC
7.	ALIGN AND FIT DOORS/PRE-HUMG FRAMES WITH UNIFORM CLEARANCES AND BEVELS.		D.		CKCHECK FEATURE STANDARD. 2200 SERIES TO BE NON-SIZED
3.	PROVIDE AND INSTALL DOOR CASING AND TRIM AS A COMPONENT OF THE DOOR KIT.		E.		BE FURNISHED WITH HEX NUTS AND BOLTS. CLOSERS SHALL E
9.	PROVIDE ALL NECESSARY PREPARATIONS TO RECEIVE NEW FINISH HARDWARE.			FOR CLASS A AND	D LESSER DOORS AND CARRY TEN-YEAR LIMITED WARRANTY.
08300) - ACCESS PANELS	8.	ST	OPS AND HOLDERS:	
	ACCESS PANELS IN RATED ASSEMBLIES: PROVIDE ACCESS PANELS AS REQUIRED IN RATED FLOOR AND WALL ASSEMBLIES. PANELS SHALL BE MFR'D BY KARP ASSOC. OR EQUAL AND SHALL HAVE A UL RATING COMMENSURATE WITH THE ASSEMBLY.			DEVICE	SUPPLIED FOR ALL DOORS NOT EQUIPPED WITH A HOLDING O
08400) - ALUMINUM ENTRANCES AND STOREFRONTS		В.		IALL BE USED EXCEPT IN AREAS WHERE THEIR LOCATION WOU OF CORRECT HEIGHT SHALL BE USED ON EXTERIOR AND INTE
Ι.	PRODUCTS: PROVIDE ENTRANCE AND STOREFRONT SYSTEMS FROM ONE OF THE FOLLOWING -		C.		BUMPERS SHALL BE USED IN AREAS WHERE FLOOR STOPS ARI DE PEDESTRIAN TRAFFIC. THEY SHALL HAVE A CONVEX GRAY I
	A. KAWNEER COMPANY B. EFCO CORPORATION C. YKK PRODUCTS				WHERE LOCK KNOBS HAVE PUSH OR TURN BUTTONS; THEN CO
	ENTRANCE SYSTEM STANDARD OF QUALITY: KAWNEER 190 NARROW STILE SERIES WITH 2 1/8" VERTICAL STILES, 2 1/4" TOP RAIL, 3 7/8" BOTTOM RAIL OF 6063-T5 ALUMINUM.		D.	FURNISH SILENCE DOOR, 2 EACH PA	ERS, AS FOLLOWS, FOR ALL NEW HOLLOW METAL FRAMES: 3 E/ NR OF DOORS.
3.	STOREFRONT SYSTEM STANDARD OF QUALITY: KAWNEER TRIFAB VG451 / 451T THERMAL WINDOW SYSTEM WITH FACE DIMENSION OF 2" AND THICKNESS OF 4 1/2"	9.			CHROMIUM PLATED, UNLESS SPECIFIED OTHERWISE IN I SPECIFICATION PARAGRAPHS ABOVE.
4.	FINISH: KYNAR	10.	CO	ORDINATE KEYING W	VITH OWNER.
5.	SHOP DRAWINGS: SUBMIT SHOP DRAWINGS AND FINISH SAMPLES (3) FOR APPROVAL.	<u>HAI</u>	RDWA	RE SCHEDULE:	
δ.	HARDWARE: COORDINATE HARDWARE WITH SECTION 08700.		SE	T #1 - ALUMINUM ENT	
7.	GLAZING: COORDINATE GLAZING WITH 08800.				E PROVIDED BY ALUMINUM DOOR MFR. INCLUDING:
08600) - WOOD WINDOW / DOOR RESTORATION			1 DEAD	HINGES BOLT AND CYLINDER (FOOT BOLTS ON BASSIN(F FAF
	ALL WORK SHALL CONFORM TO SECRETARY OF INTERIOR'S GUIDELINES FOR WOOD WINDOW RESTORATION. WHERE POSSIBLE, REUSE AND REPAIR EXISTING MATERIALS TO THE GREATEST EXTENT POSSIBLE. NEW WOOD COMPONENTS SHALL MATCH PROFILE AND WOOD SPECIES OF EXISTING			1 SET PULLS 1 SET PUSH 2 CLOSI	BARS ERS W/ STOPS
2.	COMPONENTS TO REMAIN. RESTORATION DETAILS AND ELEVATIONS ARE SHOWN DIAGRAMMATICALLY. BIDDER SHALL THOROUGHLY REVIEW THE CONDITION OF EACH OPENING AND DETERMINE WHICH COMPONENTS NEED				HER STRIPPING SHOLD
	THOROUGHLY REVIEW THE CONDITION OF EACH OPENING AND DETERMINE WHICH COMPONENTS NEED REHABILITATION OR REPLACEMENT PRIOR TO SUBMITTING BIDS.		SE	T #2 - EXTERIOR DOC	DR
				1 EXTER 1 CYLIN	ES - NRP RIOR LOCKSET IDER ER W/ STOP

SET #3 - INTERIOR DOOR - STAIRWAY/CORRIDOR HINGES

1

LOCKSET CLOSER KICK PLATES 1 SET BUMPERS WALL STOP

THRESHOLD

DOOR HARDWARE - CONTINUED

SET #4 - OFFICE DOOR

HINGES LOCKSET - OFFICE FUNCTION 1 SET BUMPERS

WALL STOP

SET #5 - RES	TROOM DOOR
3	HINGES

LOCKSET - PRIVACY FUNCTION CLOSER

1 SET BUMPERS WALL STOP

SET #6 - MECHANICAL ROOM

3	HINGES
1	LOCKSET - STORAGE FUNCTION
1	CLOSER
1 SET	BUMPERS

SET #7 - CUSTODIAL ROOM

3 PR. 1 1 SET 1 1 2 SETS	HINGES LOCKSET - STORAGE FUNCTION HEAD/FOOT BOLTS - PASSIVE LEAF CLOSER - ACTIVE LEAF FLOOR STOP KICK PLATE BUMPERS
2 SETS	BUMPERS

WALL STOP

08800 - GLAZING

- 1. MANUFACTURERS: PROVIDE GLAZING SYSTEMS BY ONE OF THE FOLLOWING:
- PPG INDUSTRIES, INC.
- AFG INDUSTRIES, INC. В. GUARDIAN INDUSTRIES, INC. C.
- D. LOF GLASS, INC.
- 2. GLAZING TYPES:
- A. (TYPE G-1) FLOAT GLASS: POLISHED, CLEAR, 0.25" THICK B. (TYPE G-2) SAFETY GLASS (INTERIOR GLAZING): CLEAR TEMPERED, 0,25" THICK, ANSI Z97.1, FEDERAL STANDARD 16 CFR 1201, WITH LABEL CLEARLY VISIBLE AFTER GLAZING. C. (TYPE G-3) NOT USED. D. (TYPE G-4) INSULATING GLASS (ALL EXTERIOR GLAZING, UNLESS OTHERWISE NOTED): TOTAL THICKNESS 1", TWO THICKNESSES OF 0.25" THICK GLAZING SEPARATED BY A 0.5" SEALED AIR SPACE,
- FACTORY FABRICATED, USING PPG SUNGATE 100 LOW E GLAZING FOR THE EXTERIOR LIGHT, SHADING COEFFICIENT OF 0.44, "U" VALUE OF 0.29, TEMPERED AT ALL LOCATIONS.
- 3. SEALANT: ELASTIC NON-HARDENING GLAZING SEALANT, RECOMMENDED BY GLAZING MANUFACTURER.
- SETTING BLOCKS: NEOPRENE, HARDNESS: 70 TO 80 SHORE A DUROMETER, GENERALLY 1/8" WIDER THAN MATERIALS TO BE GLAZED AND MINIMUM 4" LONG, 1/8" THICK.

DIVISION 09 - FINISHES

09250-PLASTER AND GYPSUM BOARD

- 1. INSTALL GYPSUM WALLBOARD IN 48" WIDTHS AND IN SUCH LENGTHS AS WILL RESULT IN A MINIMUM OF JOINTS, AND IN THE TYPES SHOWN ON THE DRAWINGS.
- WHETHER OR NOT SHOWN ON THE DRAWINGS, PROVIDE A COMPLETE SYSTEM OF METAL TRIM 2. FORMED FROM ZINC-COATED STEEL NOT LIGHTER THAN 26 GAUGE.
- 3. INSTALL A JOINTING SYSTEM INCLUDING REINFORCING TAPE, AND COMPOUND, DESIGNED AS A SYSTEM TO BE USED TOGETHER AND AS RECOMMENDED FOR THIS USE BY THE MANUFACTURER OF THE GYPSUM WALLBOARD BEING USED.
- 4. APPLICATION OF TYPES:
- A. REGULAR (INSTALLED AT CEILINGS IN NON RATED ASSEMBLIES): 1/2"x4'x8' DRYWALL WITH TAPERED EDGES. DRYWALL TO BE UL APPROVED AND MEET REQUIREMENTS OF ASTM C-36.
- B. REGULAR (INSTALLED AT WALLS IN NON RATED ASSEMBLIES): 5/8"x4'x8' DRYWALL WITH TAPERED EDGES. DRYWALL TO BE UL APPROVED AND MEET REQUIREMENTS OF ASTM C-36.
- C. FIRE RATED (INSTALLED AT WALLS AND CEILINGS IN RATED ASSEMBLIES): 5/8"x4'x8' DRYWALL FIRE CODE OR TYPE "X" WITH TAPERED EDGES. DRYWALL TO BE UL APPROVED AND MEET REQUIREMENTS OF ASTM C-36.
- D. WATER RESISTANT GYPSUM BOARD 5/8"x4'x8' COLOR CODED, TO BE LOCATED IN ALL IN ALL WET AREAS.
- FASTENERS: 1-1/2" GWB-54 ANNULAR RINGED NAILS OR 1-1/4" DRYWALL SCREWS, TYPE W WITH PHILLIPS HEAD.
- DRYWALL ACCESSORIES INCLUDE CORNER AND CASING BEADS; SHALL BE STANDARD GALVANIZED RECESSED TYPES REQUIRING FINISHING WITH JOINT TREATMENT COMPOUND.
- JOINT TREATMENT SYSTEM: INCLUDES PERFORATED TAPE, JOINT COMPOUND AND TOPPING 3. COMPOUND.
- 4. EXPANSION JOINTS: USG CONTROL JOINT #093
- 5. FINISH: SMOOTH SURFACE WITHOUT IRREGULARITIES READY TO RECEIVE FINISHES.

09500-CEILINGS

- PROVIDE AND INSTALL ACOUSTICAL CEILING TILE AND GRID SYSTEM AS INDICATED ON THE CONSTRUCTION DRAWINGS. PROVIDE PRODUCTS BY THE LISTED MANUFACTURER, OR APPROVED EQUAL.
- A. CEILING TILE: ARMSTRONG WORLD INDUSTRIES, INC. CORTEGA, ITEM NO. 703, 24"x24"x3/4", NRC 0.55, CLASS A FLAME SPREAD, UL LABELED - AS INDICATED IN DRAWINGS.
- B. CEILING GRID: CHICAGO METALLIC, INC. 511 SNAP GRID SYSTEM, 15/16" WIDTH, FACTORY FINISHED.
- PRODUCT DATA: SUBMIT MANUFACTURER'S TECHNICAL DATA FOR EACH TYPE OF ACOUSTICAL 2 CEILING UNIT AND SUSPENSION SYSTEM REQUIRED.
- SAMPLES: MINIMUM 6 INCH X 6 INCH SAMPLES OF SPECIFIED ACOUSTICAL PANEL; 8 INCH LONG 3. SAMPLES OF EXPOSED WALL MOLDING AND SUSPENSION SYSTEM, INCLUDING MAIN RUNNER AND 4 FOOT CROSS TEES.
- MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL UNITS TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH CEILING AVOID USE OF LESS THAN HALF WIDTH UNITS AT BORDERS, AND COMPLY WITH REFLECTED CEILING PLANS. COORDINATE PANEL LAYOUT WITH MECHANICAL AND ELECTRICAL FIXTURES INCLUDING EXISTING SPRINKLER HEADS.
- INSTALL SUSPENSION SYSTEM AND PANELS IN ACCORDANCE WITH THE MANUFACTURER'S 5. INSTRUCTIONS, AND IN COMPLIANCE WITH ASTM C 636 AND WITH THE AUTHORITIES HAVING JURISDICTION.
- FOR REVEAL EDGE PANELS: CUT AND REVEAL OR RABBET EDGES OF CEILING PANELS AT BORDER 6. AREAS AND VERTICAL SURFACES.

INSTALL ACOUSTICAL PANELS IN COORDINATION WITH SUSPENDED SYSTEM, WITH EDGES RESTING ON FLANGES OF MAIN RUNNER AND CROSS TEES. CUT AND FIT PANELS NEATLY AGAINST ABUTTING SURFACES. SUPPORT EDGES BY WALL MOLDINGS.

UFACTURERS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL.

WN WITH PROPER THROW TO CLEAR TRIM NEATLY. ALL N TIPS AND MATCHING PLUG, FINISHED TO MATCH LEAVES. ED, ALL DOORS UP TO AND INCLUDING 60 INCHES IN HEIGHT EE (3) HINGES OR PIVOTS AND ONE (1) ADDITIONAL HINGE OR WO AND A HALF FEET THEREOF THE HEIGHT OF THE DOOR.

OPENING OUT SHALL HAVE NON-REMOVABLE PIN FEATURE AND

E ATTACHED TO THE HINGES AND SHALL BE PACKED WITH

- WITH PROPER LENGTH TO PROTECT JAMB AND TO BE OF THE ONS
- LTS ARE TO HAVE SEX NUTS AND BOLTS, LOCK CASE AND
- CORBIN-RUSSWIN PRINCETON (AZD) LEVER DESIGN UNLESS

ORBIN RUSSWIN ED5200 SERIES WITH RIM CONFIGURATION.

UL LISTED - DC6210 AS MANUFACTURED BY CORBIN/RUSSWIN. ND PINION CONSTRUCTION, BOTH OF HEAT-TREATED STEEL. I TO BE MACHINED FROM ONE PIECE, HIGH TENSILE ALLOY STEEL, N GROUND. CASE SHALL BE HIGH DENSITY SPECIAL HYDRAULIC HALL BE HIGH TENSILE COMPRESSION TYPE, OIL TEMPERED AND BE NEEDLE TYPE, NON-CRITICAL, WITH O-RING SEALS. SPINDLE TO E-TYPE BEARINGS AND SPRING LOADED UNIT-TYPE LIP SEAL.

DS SHALL BE CONTROLLED BY SEPARATE, NON-CRITICAL E CONCEALED TO PROVIDE PROTECTION AGAINST RMS SHALL BE OF FORGED STEEL AND WROUGHT PARTS.

ERSAL TYPE, NON-HANDED. THE SAME MODEL CAN BE JAMB AND PARALLEL ARM APPLICATION. COVER SHALL BE ANGULAR DESIGN. NON-HOLD-OPEN CLOSERS SHALL BE A REVERSIBLE POWER BRACKET TO PROVIDE 15% BOOST IN BE HIGH LUBRICITY AND LOW POUR POINT. SEPARATE MOUNTING REWS SHALL BE USED TO INSURE QUICK AND ACCURATE

URE STANDARD. 2200 SERIES TO BE NON-SIZED WITH FULLY O ACCOMMODATE SIZES 1 THROUGH 6.

WITH HEX NUTS AND BOLTS. CLOSERS SHALL BE UL LISTED DRS AND CARRY TEN-YEAR LIMITED WARRANTY.

EXCEPT IN AREAS WHERE THEIR LOCATION WOULD IMPEDE HEIGHT SHALL BE USED ON EXTERIOR AND INTERIOR DOORS.

ALL BE USED IN AREAS WHERE FLOOR STOPS ARE PROHIBITED N TRAFFIC. THEY SHALL HAVE A CONVEX GRAY RUBBER KNOBS HAVE PUSH OR TURN BUTTONS; THEN CONCAVE RUBBER

DWS, FOR ALL NEW HOLLOW METAL FRAMES: 3 EACH SINGLE

09900-COATINGS

- 2. INTERIOR PAINT (NEW CMU): 1 COAT DURON BLOCK KOTE FILLER, 2 COATS DURON BUILDERS MASTERPIECE INTERIOR VINYL LATEX EGGSHELL ENAMEL, SERIES 63
- 3. INTERIOR PAINT (EXIST. CMU): CONFIRM PAINT TYPE ON WALL; IF WATER BASED USE 2 COATS DURON ULTRA DELUXE INTERIOR VINYL ACRYLIC SEMI GLOSS ENAMEL; IF OIL BASED USE 2 COATS DURON WALL KOTE INTERIOR ALKYD SEMIGLOSS ENAMEL, 48 SERIES.
- INTERIOR PAINT (NEW GYP. BD.): 1 COAT DURON ULTRA DELUXE INTERIOR DRYWALL VINYL PRIMER 4. SEALER, 04-126; 2 COATS DURON PLASTIC KOTE INTERIOR ACRYLIC EGGSHELL ENAMEL, 20 SERIES
- 5. INTERIOR PAINT (EXIST GYP. BD.): CONFIRM PAINT TYPE ON WALL; IF WATER BASED USE 2 COATS DURON PLASTIC KOTE ACRYLIC EGGSHELL ENAMEL; IF OIL BASED USE 2 COATS DURON WALL KOTE EGG SHELL ENAMEL, 45 SERIES
- 6. INTERIOR PAINT (NEW FERROUS METAL): 1 COAT DURON DURA CLAD ALKYD WHITE ENAMEL PRIMER (SPOT PRIME AS REQUIRED), 2 COATS DURON DURA CLAD ALKYD SEMI GLOSS ENAMEL. 7. INTERIOR PAINT (EXISTING FERROUS METAL): 1 COAT DURON DURA CLAD ALKYD WHITE ENAMEL
- PRIMER (SPOT PRIME AS REQUIRED). 8. MISCELLANEOUS ITEMS TO BE FIELD PAINTED INCLUDING ANY ITEMS/MATERIALS NOT FACTORY FINISHED.
- PREPARATION OF EXISTING SURFACES TO BE REPAINTED SHALL INCLUDE BUT NOT BE LIMITED TO 9. SURFACE ABRASION.
- 10. EXISTING MASONRY SHALL BE RESTORED AND PAINTED IN ACCORDANCE WITH SECRETARY OF INTERIOR'S GUIDELINES FOR RESTORING PAINTED SURFACES. REMOVE PEELING OR SPALLING PAINT. CLEAN WITH WATER AND DETERGENT THEN REPAINT WITH AN APPROVED EXTERIOR PAINT SUCH AS DURON SIGNATURE LIFETIME (2 COATS) OVER PREPARED SURFACE OR PRIMED SURFACE.

END OF SPECIFICATIONS

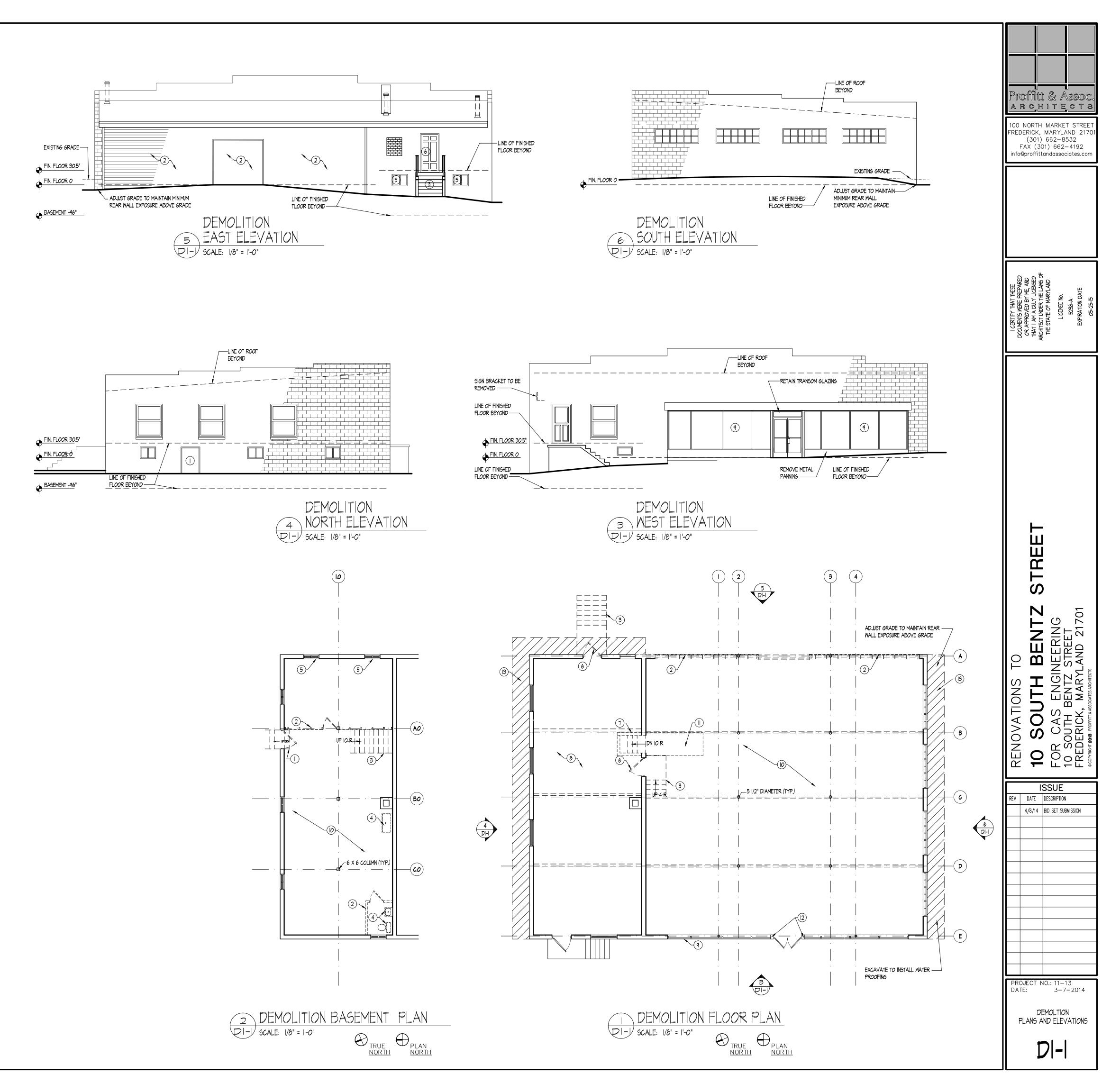
AR 100 NC FREDER (A FAX	С <u>НІТ</u> PRTH MAP ICK, MAR 301) 662 ((301) 6	RKET STRE	S ET 70 ⁻
I CERTIFY THAT THESE DOCUMENTS WERE PREFARED OR APPROVED BY ME, AND	THAT I AM A DUY LICENSED ARCHITECT UNDER THE LAWS OF THE 5TATE OF MARYLAND.	LICENSE No. 5238-A EXPIRATION DATE	05-25-15
TO		FUN CAS ENGINEENING 10 SOUTH BENTZ STREET FREDERICK, MARYLAND 21701	© COPYRIGHT 2013 PROFFITT & ASSOCIATES ARCHITECTS
	ISSU ATE DESCRI B/14 BID SE		
DATE:		3-7-2014	
	SPECIFIC		

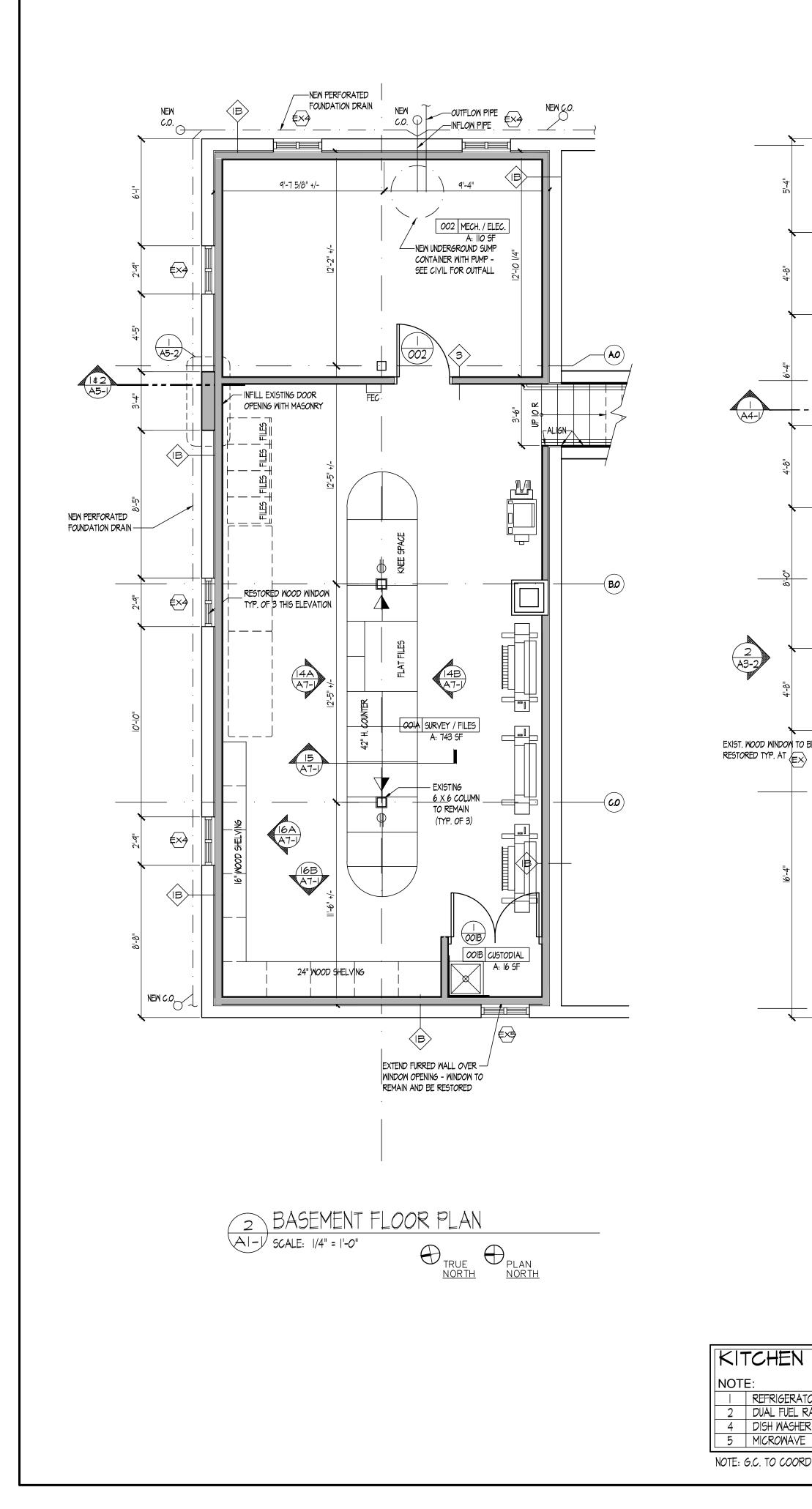
GENERAL DEMOLITION NOTES:

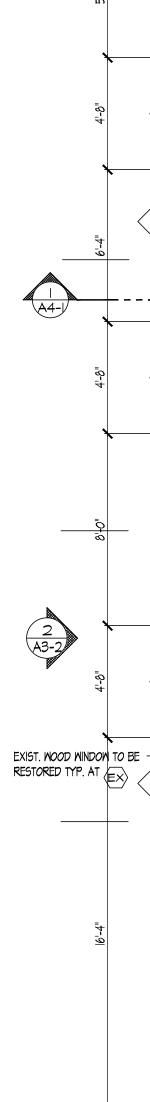
- I AREAS OF DEMOLITION ARE DENOTED BY DASHED LINES, UNLESS OTHERWISE NOTED.
- 2 OWNER HAS FIRST REFUSAL RIGHTS ON ALL ITEMS / MATERIALS REMOVED INCLUDING BUT NOT LIMITED TO PEG BOARD, MIRROR, & GRANITE COUNTERTOP. ALL ITEMS / MATERIALS NOT RETAINED BY OWNER SHALL BE REMOVED AND RECYCLED, SALVAGED OR OTHERWISE DISPOSED OF IN ACCORDANCE WITH THE DIVISION I CONSTRUCTION WASTE MANAGEMENT PLAN SPECIFICATION REQUIREMENTS AND LEED CS MATERIALS AND RESOURCES CREDIT 2 REQUIREMENTS.
- 3 COORDINATE DEMOLITION WITH PROPOSED NEW CONSTRUCTION.
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES AND TO PROVIDE AND BE RESPONSIBLE FOR SHORING AND BRACING REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD. ALL CROSS BRACING CABLES IN WALLS SHALL REMAIN IN PLACE UNTIL REPLACED BY NEW STRUCTURE WHERE NOTED. ROOF CROSS BRACING CABLES SHALL REMAIN
- 5 ANY ITEMS NOT NOTED TO BE DEMOLISHED, BUT REQUIRING REMOVAL IN ORDER TO ACCOMPLISH THE REQUIRED DEMOLITION WORK, SHALL BE REINSTALLED OR REPLACED IN KIND UPON COMPLETION OF THE NEW CONSTRUCTION.
- 6 JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 1 ANY AREAS DAMAGED BY THE DEMOLITION AND/OR CONSTRUCTION WORK SHALL BE REPAIRED AND/OR RECEIVE NEW SUBSTRATES, FINISHES, AND/OR MATERIALS TO MATCH THE EXISTING AFFECTED ITEMS. ANY REPAIR OR REPLACEMENT WORK SHALL BE PERFORMED TO A LEVEL OF QUALITY EQUALTO THAT FOUND PRIOR TO BEGINNING WORK ON THIS PROJECT.
- 8 THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE JOBSITE PRIOR TO STARTING WORK.
- 9 THE SELECTIVE DEMOLITION AS SHOWN ON THE DRAWINGS IS DIAGRAMMATIC, AND IN NO WAY ATTEMPTS TO SHOW ALL EXISTING FIXTURES, CONNECTIONS, AND FITTINGS AND OTHER MISCELLANEOUS ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING/COORDINATING ALL MISCELLANEOUS DEMOLITION AS REQUIRED DUE TO FIELD CONDITIONS.
- IO THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL THE CONTAINMENT OF DUST AND DEBRIS DURING THE DEMOLITION PERIOD AND SHALL OBTAIN ALL REQUIRED PERMITS AND COORDINATE WITH THE CITY BUILDING DEPARTMENT THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- II PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A DEMOLITION PLAN OUTLINING THE DESIRED PLACEMENT OF DUMPSTERS, DUST AND DEBRIS CONTROL MEASURES AND SCHEDULE OF ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO EACH DEMOLITION ACTIVITY.
- 12 THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND TO WARRANTY REQUIREMENTS.
- 13 REMOVE (E) FINISHES WHERE NEW FINISHES ARE TO BE APPLIED & PREPARE (E) SURFACES FOR APPLICATION OF NEW FINISHES.

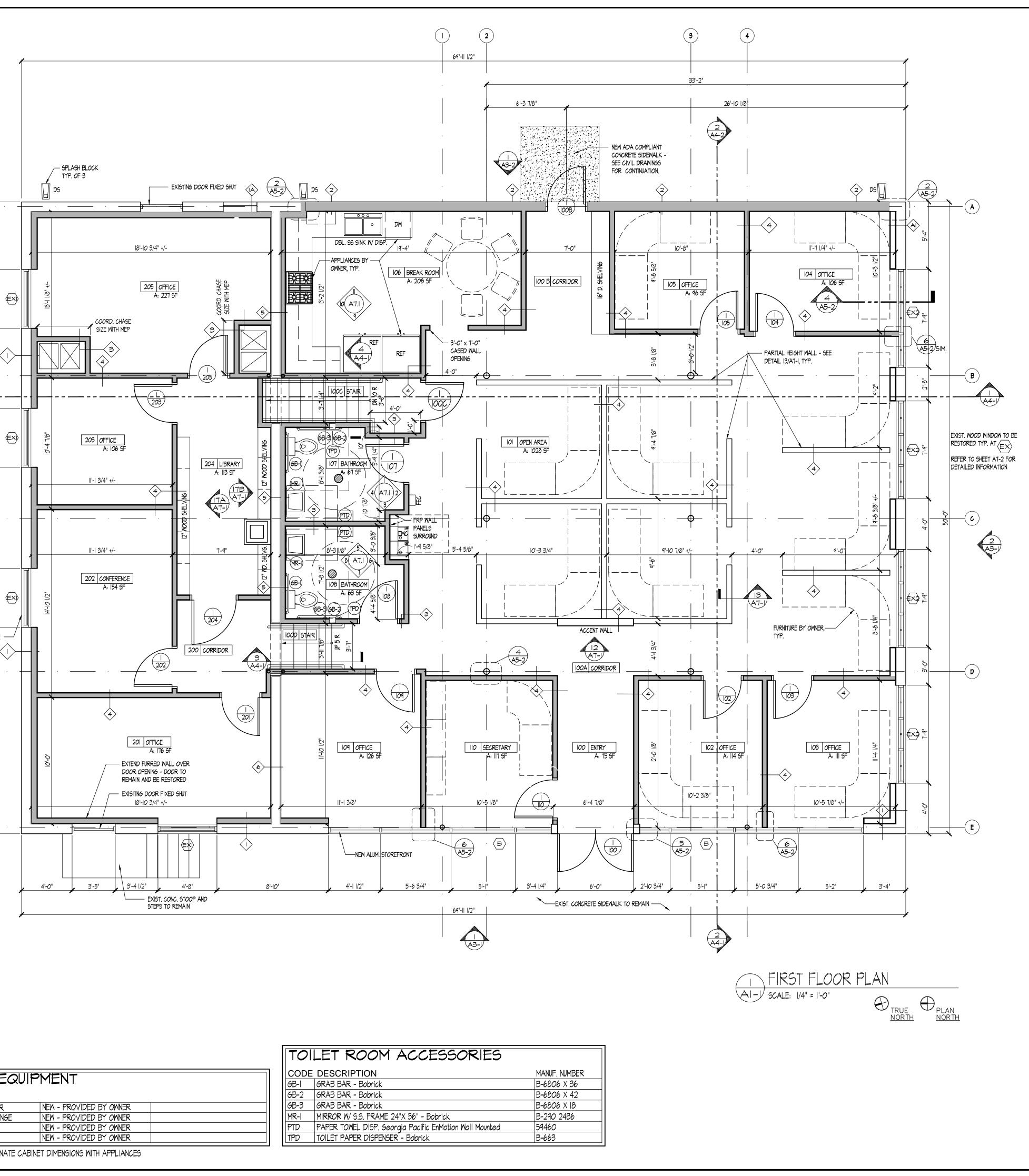
DEMOLITION NOTES:

- (I) REMOVE DOOR AND CONCRETE RISERS.
- PREP OPENING FOR MASONRY INFILL.
- (2) REMOVE STUD WALL AND DOOR INCLUDING ALL ASSOCIATED BLOCKING.
- 3 REMOVE STAIR AND ASSOCIATED BLOCKING AND FOOTINGS.
- (4) REMOVE PLUMBING FIXTURE AND ASSOCIATED PIPING.
- 5 EXISTING WINDOW TO REMAIN AND BE RESTORED.
- EXISTING DOOR TO REMAIN AND BE RESTORED.
- T REMOVE STUDWALL.
- (8) REMOVE LATH CEILING AND ALL INSULATION / DEBRIS.
- (9) REMOVE ALUMINUM STOREFRONT AND GLAZING. REMOVE METAL PANNING BELOW WINDOW, RETAIN TRANSOM GLAZING OVER
- EXISTING DOOR. (i) REMOVE EXISTING CONCRETE SLAB INSTALL STONE BASE AND
- PREP FOR NEW SLAB.
- (II) REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO
- ACCOMMODATE NEW STAIRS (12) RELOCATE EXISTING STRUCTURAL STEEL MULLIONS AS REQUIRED TO ACCOMMODATE NEW OPENING. REUSE OR REPLACE AS REQUIRED.
- SHORE AS REQUIRED. (13) EXCAVATE PERIMETER WHERE EXISTING FLOOR IS BELOW GRADE. PREP FOUNDATION WALL AND INSTALL WATERPROOFING AND DRAIN. RESTORE DISTURBED AREA TO ORIGINAL GRADE AND REPLACE DAMAGED SIDEWALK.



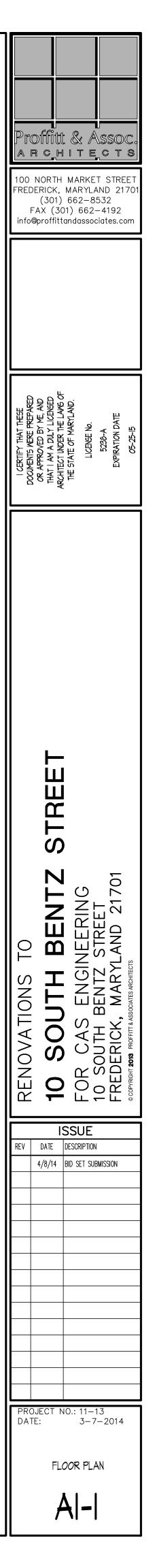


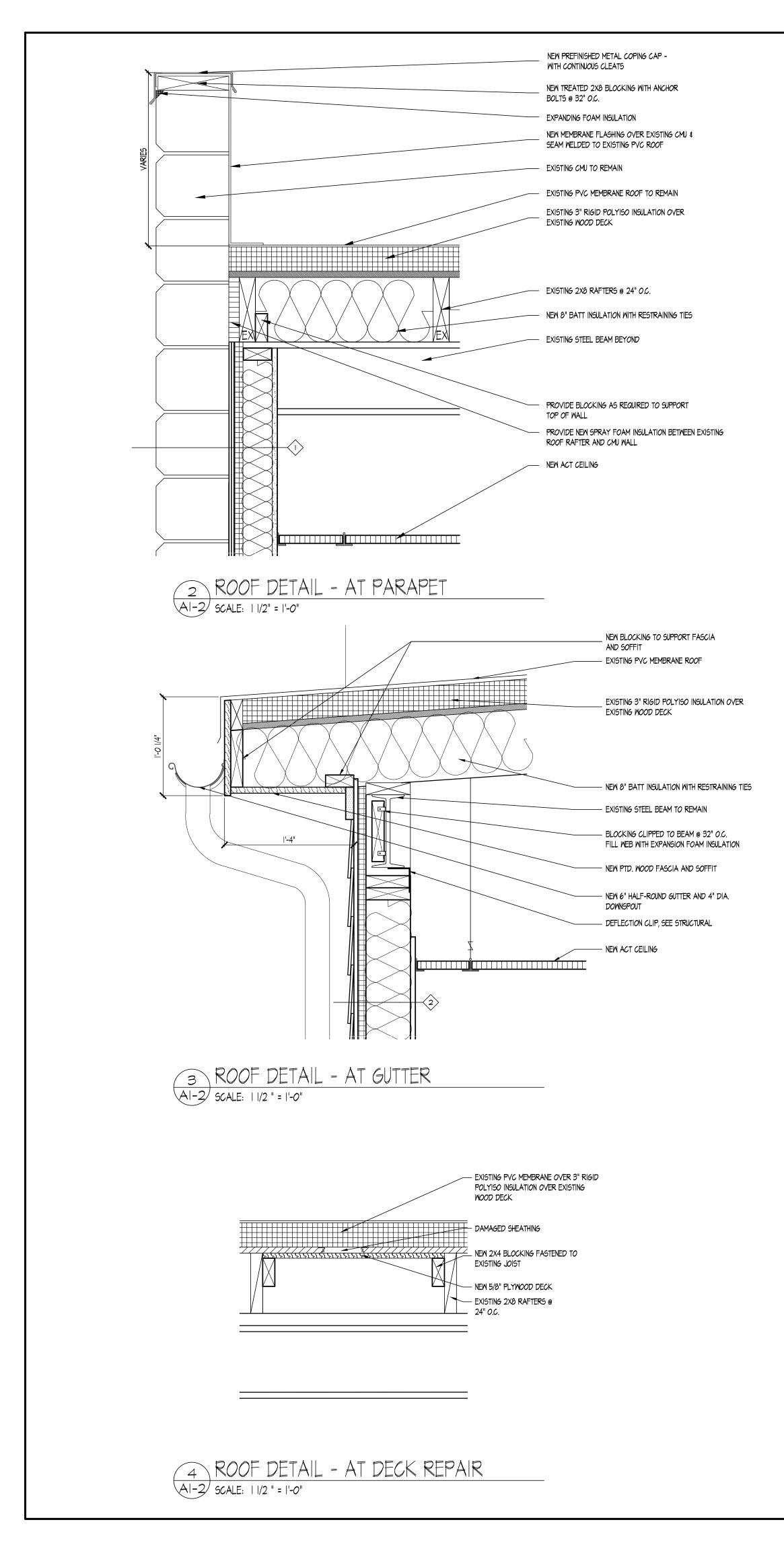


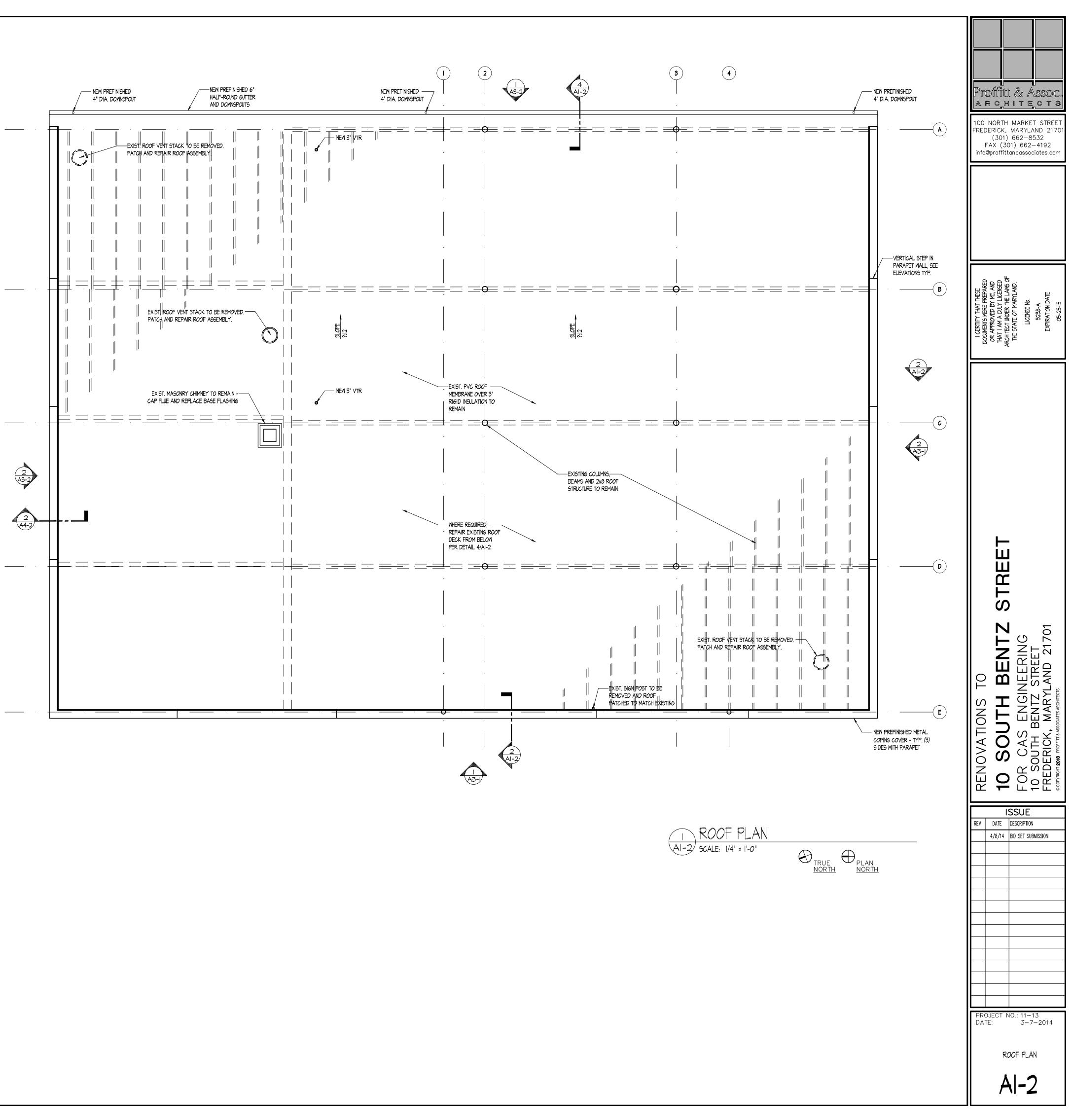


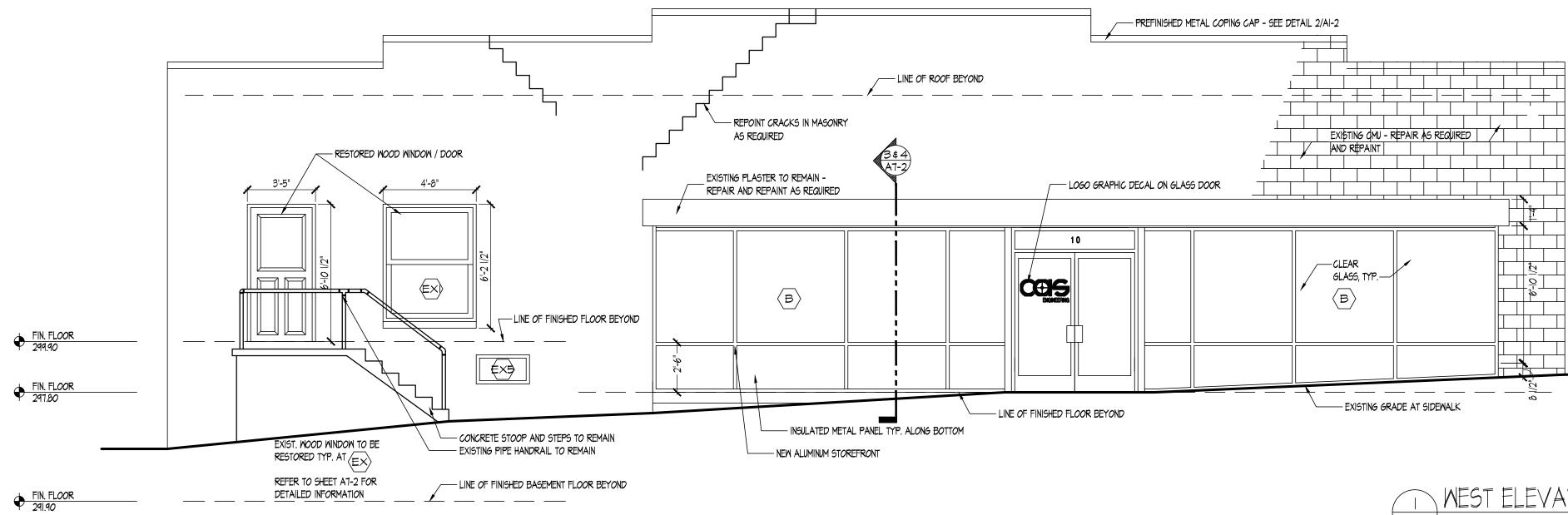
					LET ROOM ACCESSORIES	
	ITCHEN EQUI]	CODE	DESCRIPTION	MANUF. NUMBER
				GB-I	GRAB BAR - Bobrick	B-6806 X 36
NOT	TE:			6B-2	GRAB BAR - Bobrick	B-6806 X 42
	REFRIGERATOR	NEW - PROVIDED BY OWNER		GB-3	GRAB BAR - Bobrick	B-6806 X 18
2	DUAL FUEL RANGE	NEW - PROVIDED BY OWNER		MR-I	MIRROR W/ S.S. FRAME 24"X 36" - Bobrick	B-290 2436
4	DISH WASHER	NEW - PROVIDED BY OWNER		PTD	PAPER TOWEL DISP. Georgia Pacific EnMotion Wall Mounted	59460
5	MICROWAVE	NEW - PROVIDED BY OWNER		TPD	TOILET PAPER DISPENSER - Bobrick	B-663
OTE:	: G.C. TO COORDINATE CAE	BINET DIMENSIONS WITH APPLIANCES		·		

NOTE: G.C. TO COORDI

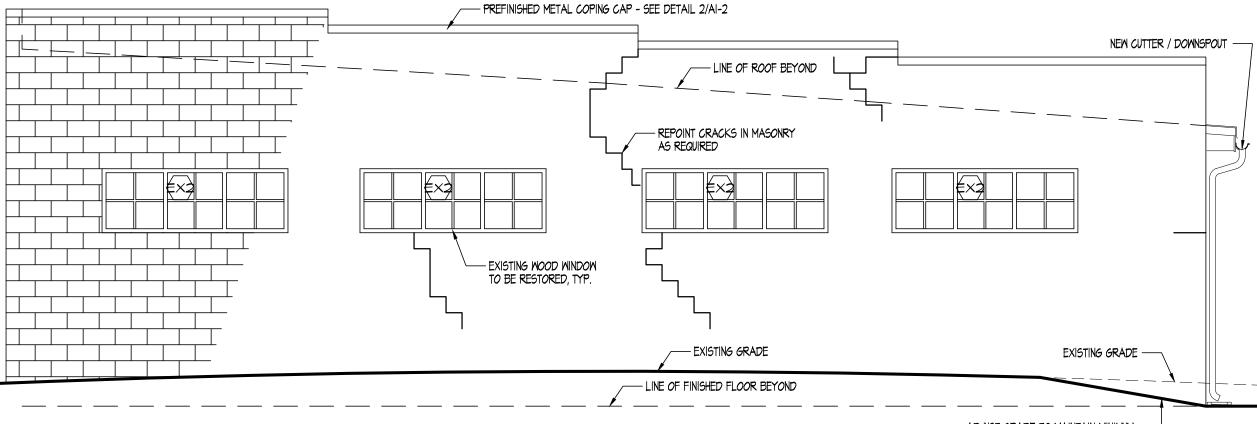




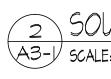




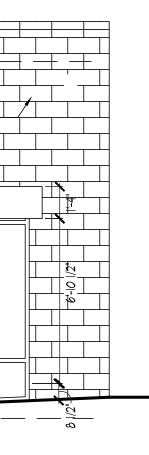
FIN. FLOOR 287.80



ADJUST GRADE TO MAINTAIN MINIMUM — REAR WALL EXPOSURE ABOVE GRADE

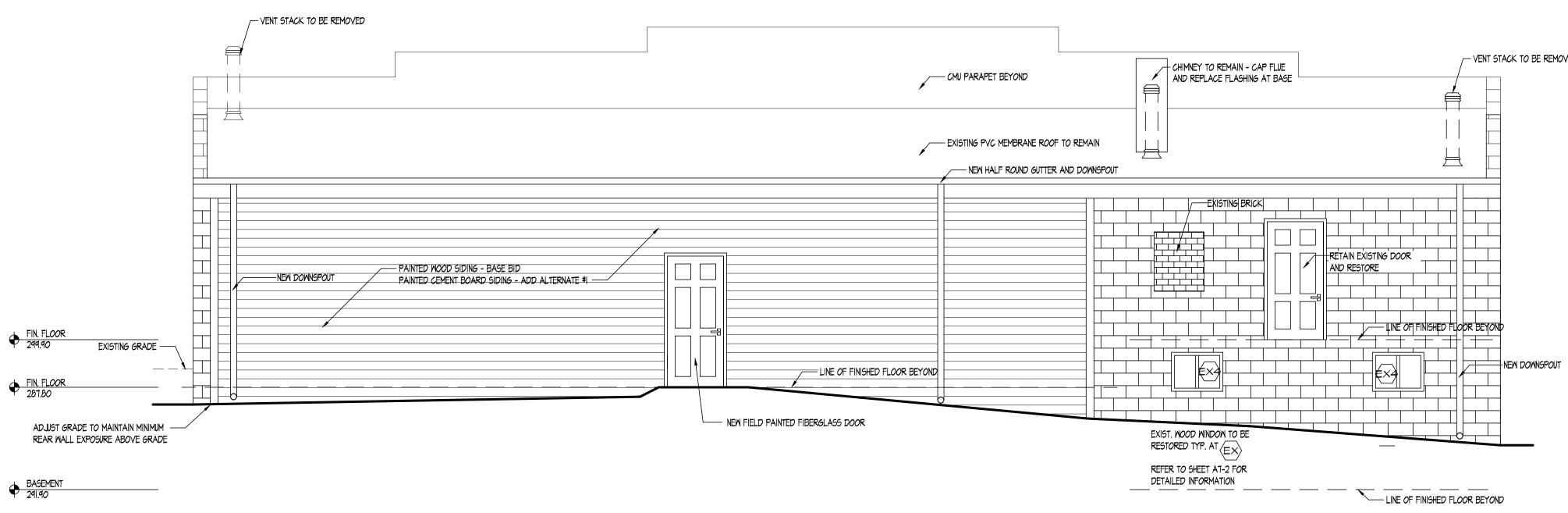


100 NG FREDEF (FA)	С Н DRTH I RICK, M (301) (X (301	MARKE MARKE MARYL 562-8) 662	CT TSTR AND 2	EET 1701
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND	THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF	THE STATE OF MARYLAND. LICENSE No.	5238-A EXPIRATION DATE	<i>O</i> 5-25-I5
RENOVATIONS TO	10 SOUTH BENTZ STREET	FOR CAS ENGINEERING	10 SOUTH BENTZ STREET FREDERICK. MARYLAND 21701	© COPYRIGHT 2013 PROFFITT & ASSOCIATES ARCHITECTS
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DATE:		3-7 DPOSE VATION	D	4

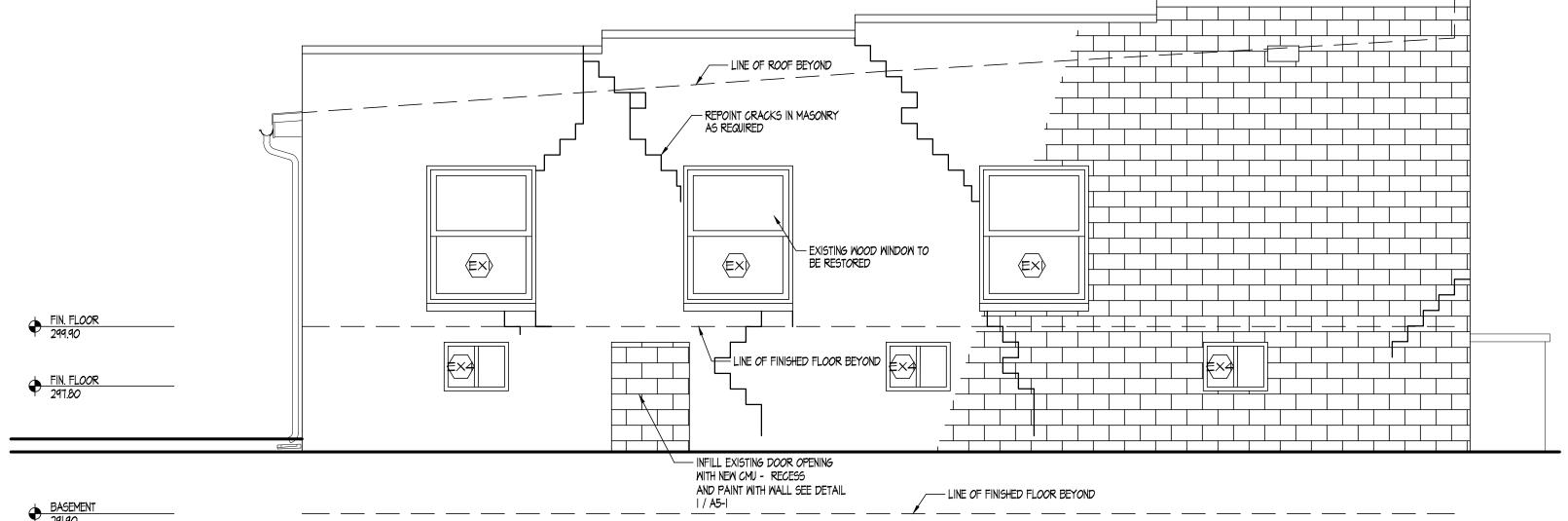


WEST ELEVATION A3-1 SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION A3-1 SCALE: 1/4" = 1'-0"



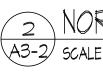




BASEMENT
 291.90



____ LINE OF FINISHED FLOOR BEYOND

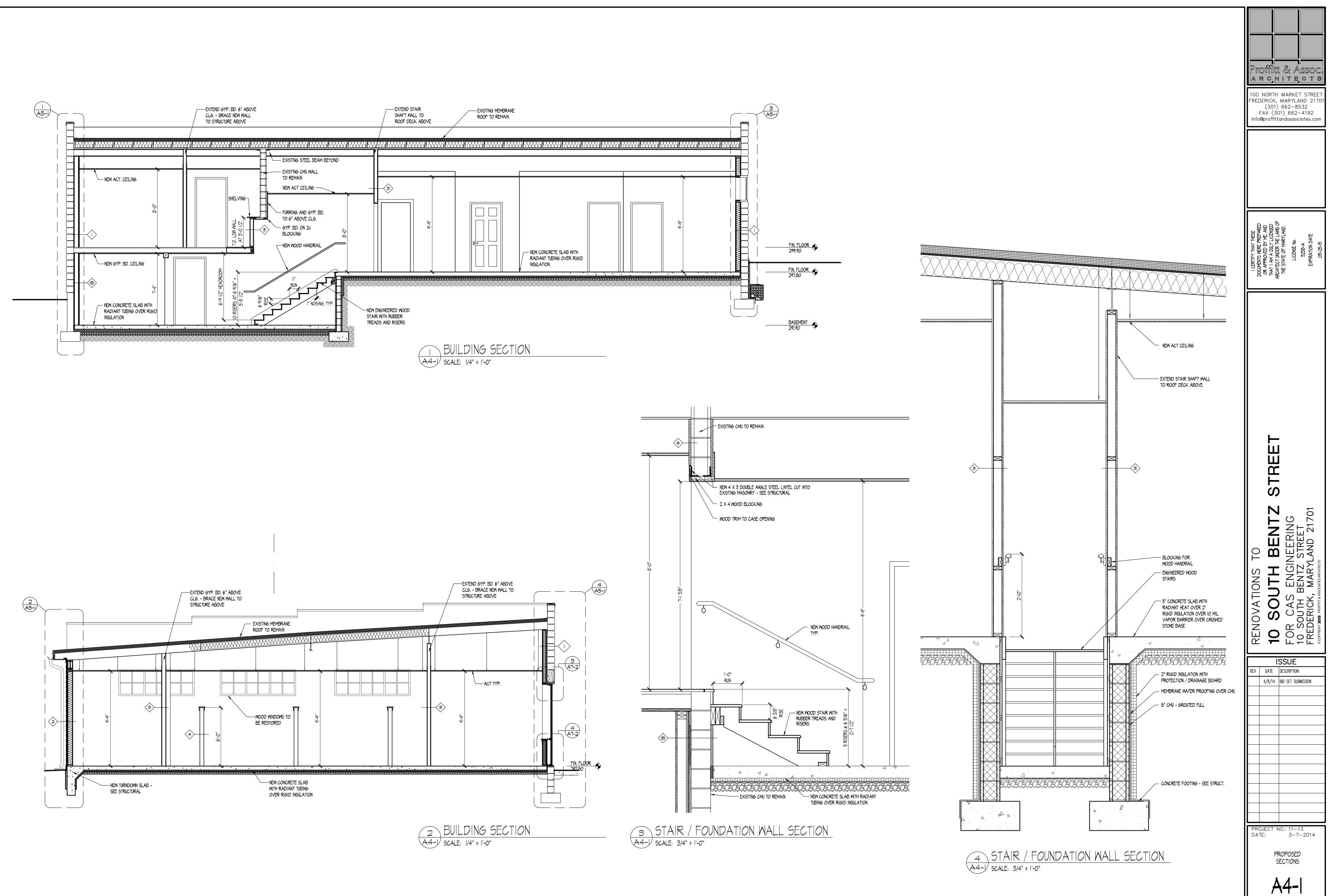


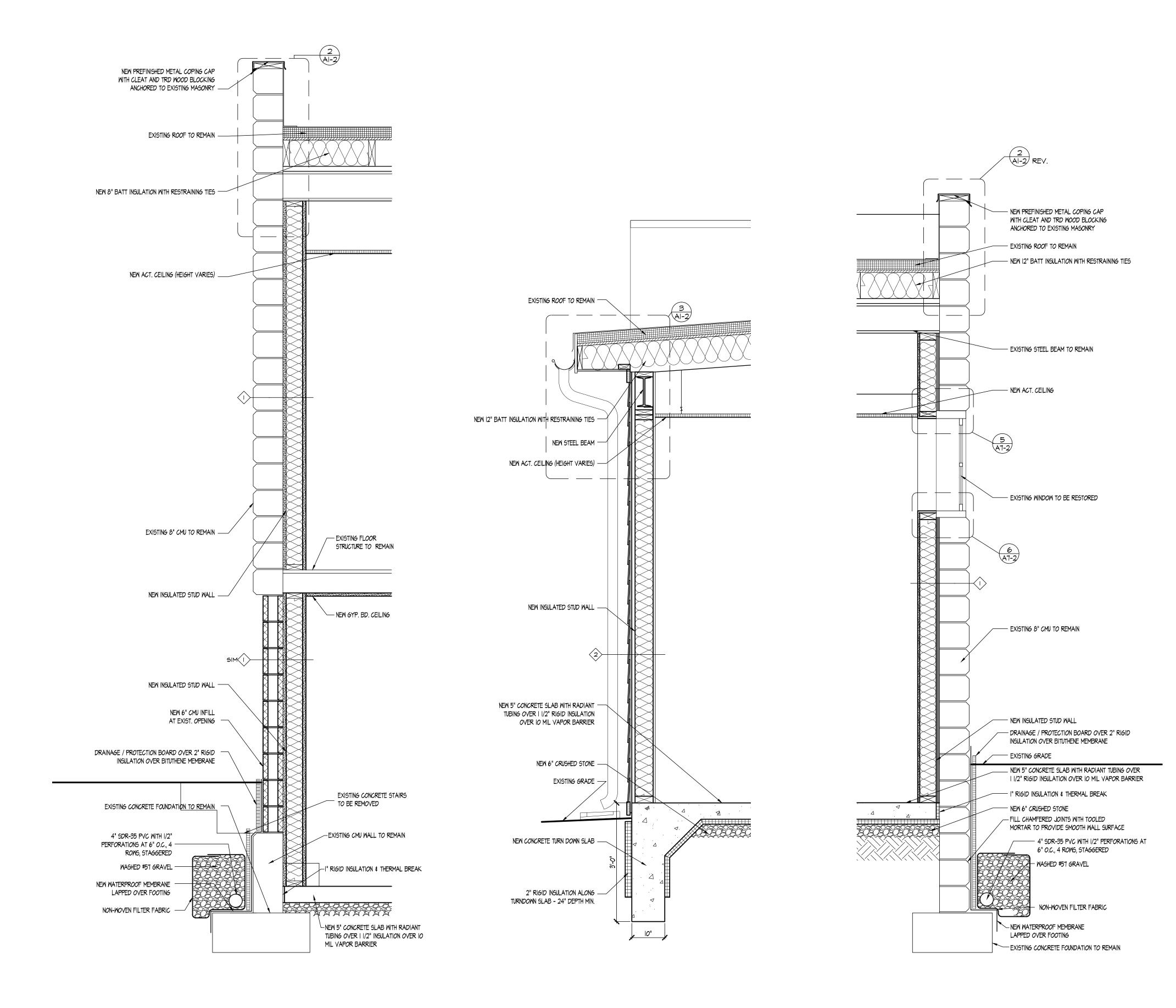
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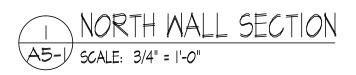
/-- VENT STACK TO BE REMOVED

I EAST ELEVATION A3-2 SCALE: 1/4" = 1'-0"

 $\begin{array}{c} 2 \\ \hline 2 \\ \hline A3-2 \end{array} \begin{array}{c} \text{NORTH ELEVATION} \\ \hline SCALE: 1/4" = 1'-0" \end{array}$



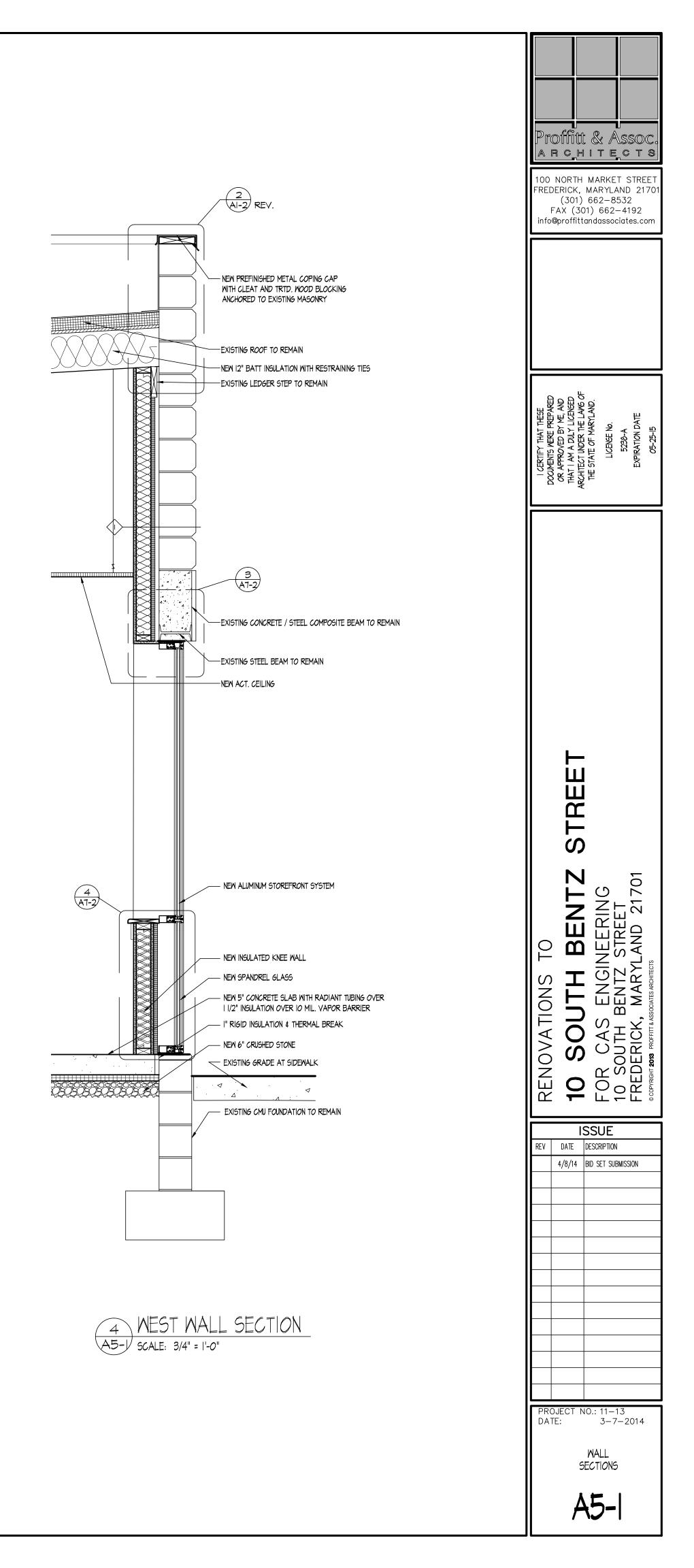


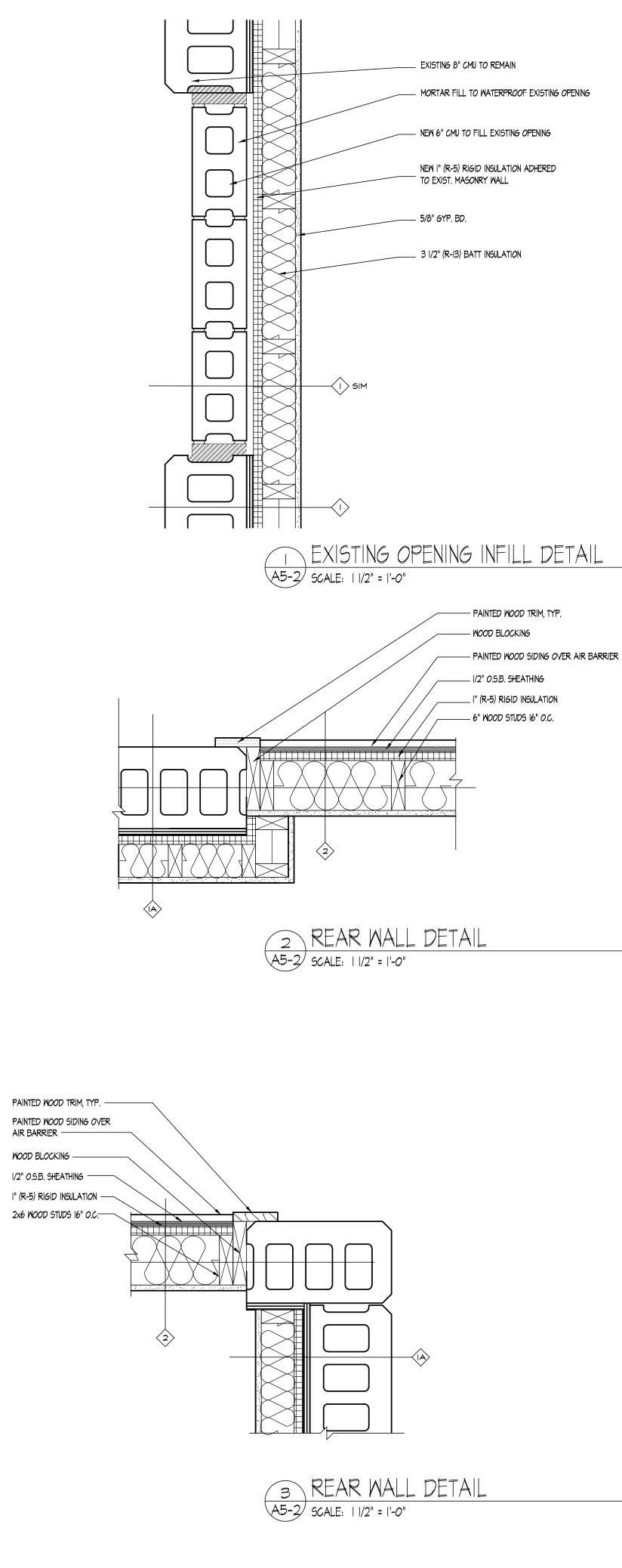


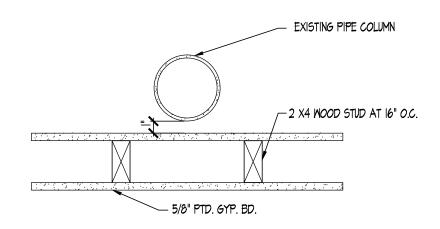


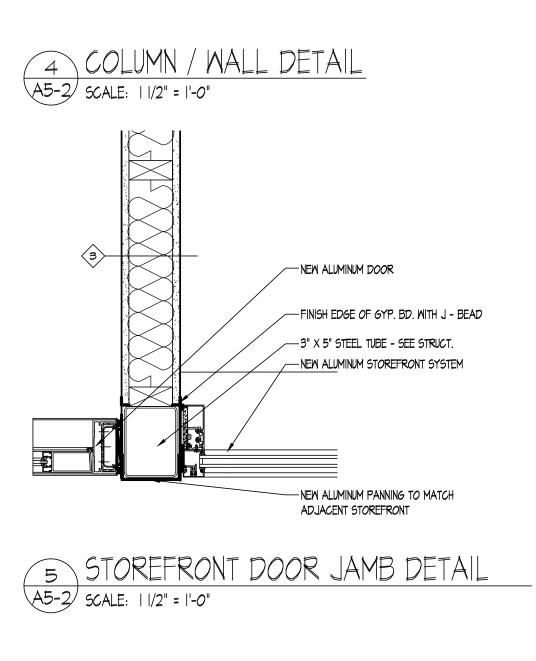
2 EAST WALL SECTION A5-1 SCALE: 3/4" = 1'-0"

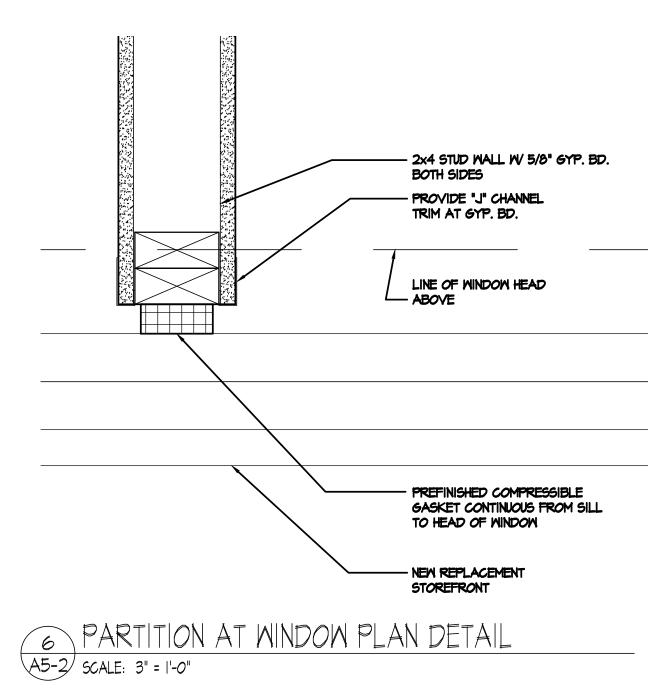
3 SOUTH WALL SECTION A5-1 SCALE: 3/4" = 1'-0"



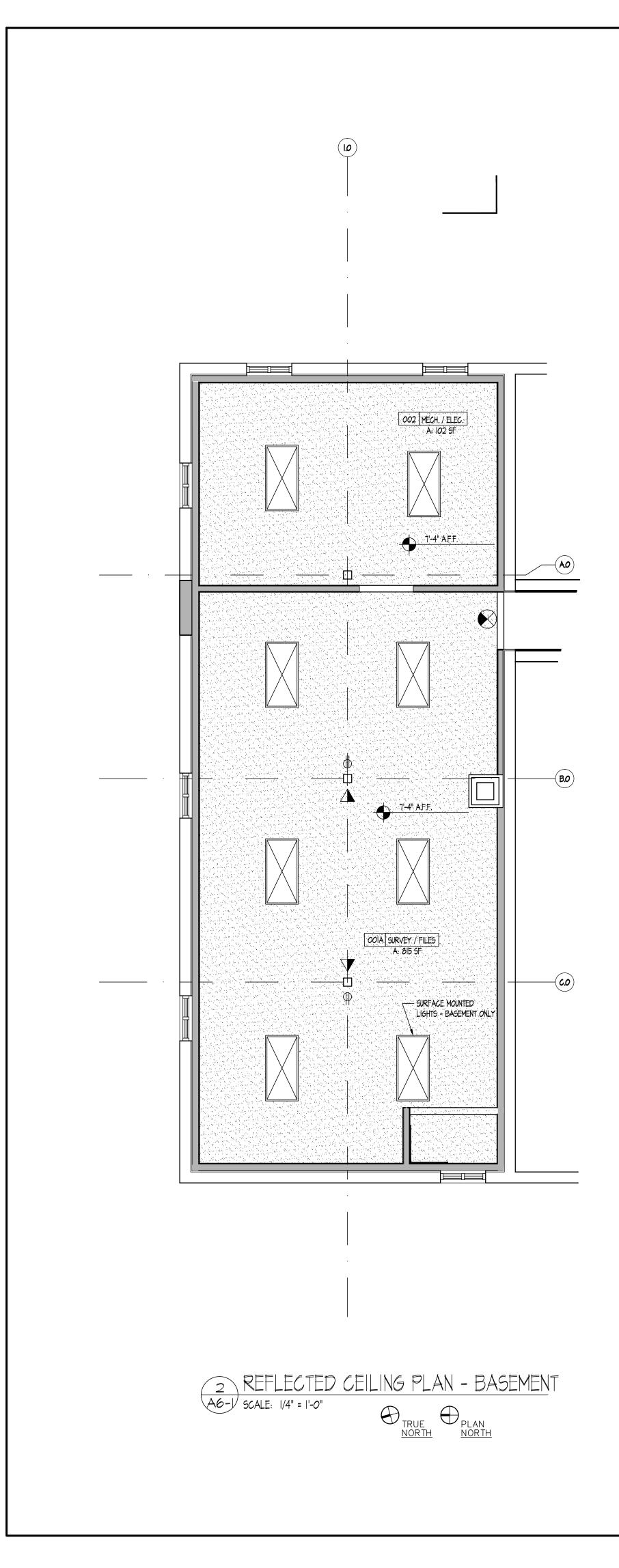








A F	8 C H NORTH ERICK, (301) AX (30	MARKE MARYLAN 662-85 01) 662- andassoo	© T : T STREE ND 217 532 -4192 siates.co	S E T 707
RENOVATIONS TO	10 SOUTH BENTZ STREET	CAS ENGINEERING	FREDERICK, MARYLAND 21701	© COPYRIGHT 2013 PROFFITT & ASSOCIATES ARCHITECTS
REV	DATE 4/8/14	SSUE Description BID Set SUB		
PRODATI	E:	NO.: 11-1 3-7	-2014	





	TWIN TO O' FLUORESCENT - BOT OF FIXTURE MOUNTED @ 13'-0" A						
	T8 4' FLUORESCENT - BOTTOM (FIXTURE MOUNTED @ 13'-O" A.F.F						
	2x4 FLUORESCENT FIXTURE (LAY WITH ACRYLIC LENS						
	EXHAUST FAN						
۲	EMERGENCY EXIT SIGN (ILLUMINATED) W BATTERY BACK-UP						
E	EMERGENCY LIGHT W BATTERY BACK-UP						

ROOM FINISH SCHEDULE										FINISH LEGEND					
ROOM			-	NOR	тц	201		VALLS EAST		WE	ст	CEILING			
NUMBER	ROOM NAME	FLOOR	BASE	MATERIAL	FINISH	SOL MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	HEIGHT	REMARKS	CPT
	SURVEY / FILES	CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD	-	-	GYP. BD.	PTD	GYP. BD.	7'-4"		RB
	CUSTODIAL MECH / ELECT.	CONC.	RB F	FRP & GYP. BD GYP. BD.	PTD PTD.	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	FRP & GYP BI GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	7'-4"		MD ENGINEERED WOOD FLOOR
	ENTRY	STND. CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD		-	STOREFRONT	-	ACT	q'_q"		KEY
	CORRIDOR CORRIDOR	STND. CONC. STND. CONC.	RB	- GYP. BD.	- PTD	- GYP. BD.	- PTD	CORR. MTL. GYP. BD.	PTD PTD	-	-	ACT ACT	q'_q" q'_q"		VCT VINYL COMPOSITE TILE
	STAIR	RUB./STND. CONC.	RB RB	GYP. BD.	PTD		-	GYP. BD.	PTD	GYP. BD.	PTD	ACT.	VARIES		LT LINOLEUM TILE
	STAIR	RUB./STND. CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD	-	-	-	-	ACT	VARIES		CPT CARPET
	OPEN AREA	STND. CONC. STND. CONC.	RB RB	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. STOREFRONT	PTD -	ACT ACT	9'-9" 9'-9"		RUB RUBBER
	OFFICE	STND. CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	q'_q"		
	OFFICE	STND. CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	q'_q"		
	OFFICE BREAK ROOM	STND. CONC. STND. CONC.	RB RB	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	ACT ACT	q'_q" q'_q"		
	BATHROOM	STND. CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	8'-0"		
	BATHROOM	STND. CONC.	RB	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	8'-0"		
L	OFFICE SECRETARY	STND. CONC. STND. CONC.	RB RB	EX. WALL. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. STOREFRONT	PTD -	ACT ACT	q'_q" q'_q"		∠ PAINTED GYP. BD
	CORRIDOR	ENG. WD	WD	GYP. BD.	PTD	EX. WALL.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	8'-0"		
		ENG. WD	WD	GYP. BD.	PTD	EX. WALL.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT ACT	8'-0" 8'-0"		4" RUBBER BASE 6" WOOD BASE AT
	ONFERENCE	ENG. WD ENG. WD	WD WD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	GYP. BD. GYP. BD.	PTD PTD	ACT	8-0"		IZ ENTRY COR
	LIBRARY	ENG. WD	WD	GYP. BD.	PTD	EX. WALL.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	8'-0"		A7-1 SCALE: 1/4" = 1'-0"
205	OFFICE	ENG. WD	MD	GYP. BD.	PTD	EX. MALL.	PTD	GYP. BD.	PTD	GYP. BD.	PTD	ACT	7'-6"		
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								PTD. GY BD., TYF	P						STAIRS BEYOND
GB N		_0							(MRI)			MR-)	∫ [−] GB		DRAWER BASE ADJUSTABLE AT EACH END, SHELVES, HPL FINISH
	⇒	<u>6</u>													
	- TPD - RUBBER BASE, TYP.													ב	
		_					L								
	THROOM 107					_EVATION				╡Ĕ▏Ĕ∖/⋏╶╡			TUDAANI		EXISTING COLUMN TO REMAIN, TYP.
	₹ П © О * 0 _E: /4" = '-0"	LLLYAIIUN		₹ ∏ © 00 * LE: /4" = '-0"				BATHRC V scale: 1/4" =				A7-V SCALE		OT ELEVATION	DATA AND POWER 4'-0" W. NICHE FOR F
															ON COLUMNS ADJUSTABLE HPL C HPL BACKSPLASH, SHELVES, HPL FINISH 7
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	BASE, TYP.			BA	SE, TYP.										
															- 24" DEEP WOOD SHELVING WITH TOE KICK AND FACE FRAMES AT 30" O.C.
⊂ R≰	THROOM 108	FI EVATION		THROOM	1 108 FI			BATHRC		S = E / A		$\bigcirc BA$	THROOM	08 ELEVATION	
A7-V SCAL	LE: 1/4" = 1'-0"		A7-V SCAL	LE: 1/4" = 1'-0"			- (<u>7</u> -)	SCALE: 1/4" =	'-0"			A7-V SCALE	E: /4" = '-0"		
											_ 2	ANGE HOOD DUCT IN			
					AROUND VENT DU			/ BLOCK	IDE SUFFICIENT <ing between="" wall<br="">ND MICROWAVE</ing>		61	YP. BD. BOX FLUSH WITH ABINET FACE			
		FINISHED - END PANEL W3636					UF3, RIP TO WM5C2718		ET TO SUPPORT ET SIDE						A
CASED OPENING	<u> </u>				M363	6 WI536L	WI536R				M36	\	- PTD. GYP		16 SURVEY/FILES OOIB
			3 ⁻ 0 ⁻							RANGE HOOD			– PTD. GYP BD., TYP. –		A7-1 SCALE: 1/4" = 1'-0"
		4" BACKSPLAS								BEHIND	┠──┤─┤┝─┘╵╲ <u>↓</u> ┫──┘	<u>, </u>		<u>2</u> <u>2</u>	12" DEEP WOOD SHELVING WITH TOE KICK AND FACE FRAMES AT 30" O.C.
	REF				W/ 4" BACK \$ 9	SIDESPLASH, TYP.				RANGE					
			3 ⁻ 0 ⁻					31-0		RANGE BEHIND					
					UFI B24	4 DBI5 F.E		=3, RIP TO 2"			4" TOE KICK-B	2432 SB3632 DB1232-		4" RUBBER BASE	
						يسار ا من من من		, 			. JE NVN DZ	PROVIDE	E KNEE SPACE EN	D PANEL	
		FINISHED										MITH AD	PA COMPLIANT		
		FINISHED -> B24 UF3 END PANEL										WITH AD PANEL	A COMPLIANT		
		END PANEL										PANEL			
a BR	REAK ROOM E	END PANEL				3REAK RO	OOM EL	EVATION	ļ			panel 3REAK RC		ATION	
q BR A7-I SCAL	REAK ROOM E _E: 1/4" = 1'-0"	END PANEL			10 A7-1 50	3REAK R(cale: 1/4" = 1'-0	<u>oom El</u>	EVATION				PANEL		ATION	A A (17) LIBRARY 204 ELEV A7-J SCALE: 1/4" = 1'-0"

