

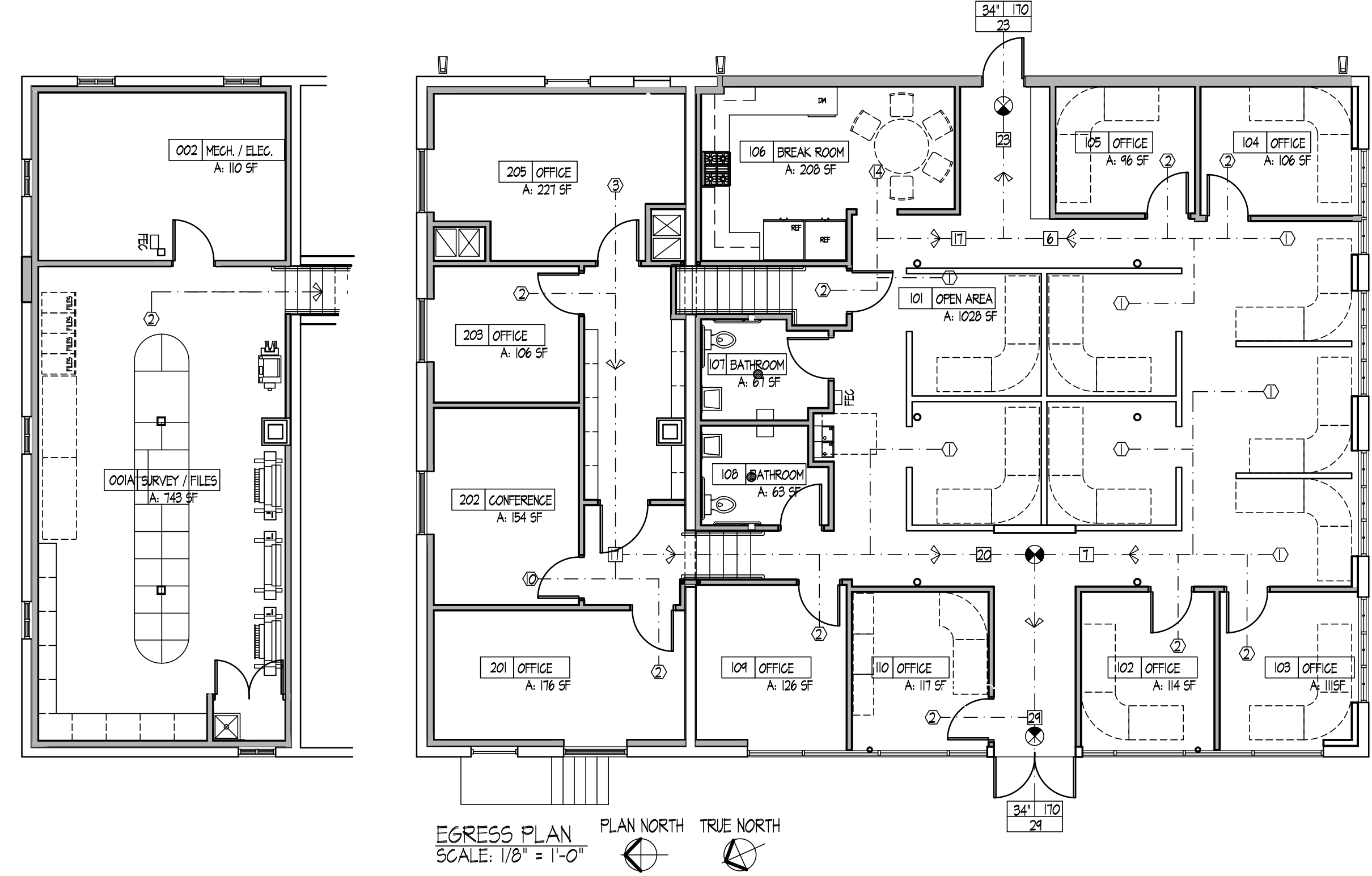
ABBREVIATIONS

Table of architectural abbreviations including ACQUIS, ACT, AD, ADJ, A.F.F., AIR COND., ALT., ALUM., ANGR., AP, APPROX., ARCH., BD., BIT., BLDG., BLK'G., B.O.F., BOT., BRG., CAB., C.J., C.L., C.L. HT., C.L.G., C.L.R., CMU, CONTR. JT., COL., CONC., CONT., CORR., C.T., CTR., D., D.B.L., DIA., DIM., DR., D.N., D.S., DTL., DWS., EA., E.L., ELEV., ELEC., EPX., EQ., EQIP., E.K., E.K.C., EX., EXIST., EXP., EXT., F.D., F.E.G., FIN., FL., FLR., FLOR., F.O.E.K., FURR., FT., FT6., GA., GALV., G.C., GL., GRD., GYP. BD., GYB., H.C., H.B., HDN., H.M., H.T., H.V.A.C., I.D., IN., INFO., INSUL., INT.

RENOVATIONS TO 10 SOUTH BENTZ STREET FOR CAS ENGINEERING 10 S BENTZ ST. FREDERICK, MARYLAND 21701

ARCHITECT: PROFFITT & ASSOCIATES ARCHITECTS, PC 100 NORTH MARKET STREET FREDERICK, MARYLAND 21701 (301) 662-8532 (P) (301) 662-4192 (F)
STRUCTURAL ENGINEER: ADTEK ENGINEERS 97 MONOCRACY BOULEVARD, UNIT H FREDERICK, MARYLAND 21701 (301) 662-4408(P) (301) 662-7484(F)
MEP ENGINEER: RHL ENGINEERING 3 W 2ND STREET FREDERICK, MARYLAND 21701 (301) 695-9424 (P) (301) 293-6338 (F)
CIVIL ENGINEER: CAS ENGINEERING 108 WEST RIDGEVILLE BOULEVARD SUITE 101 MT. AIRY, MARYLAND 21771 (301) 607-8031 (P)

EGRESS PLAN



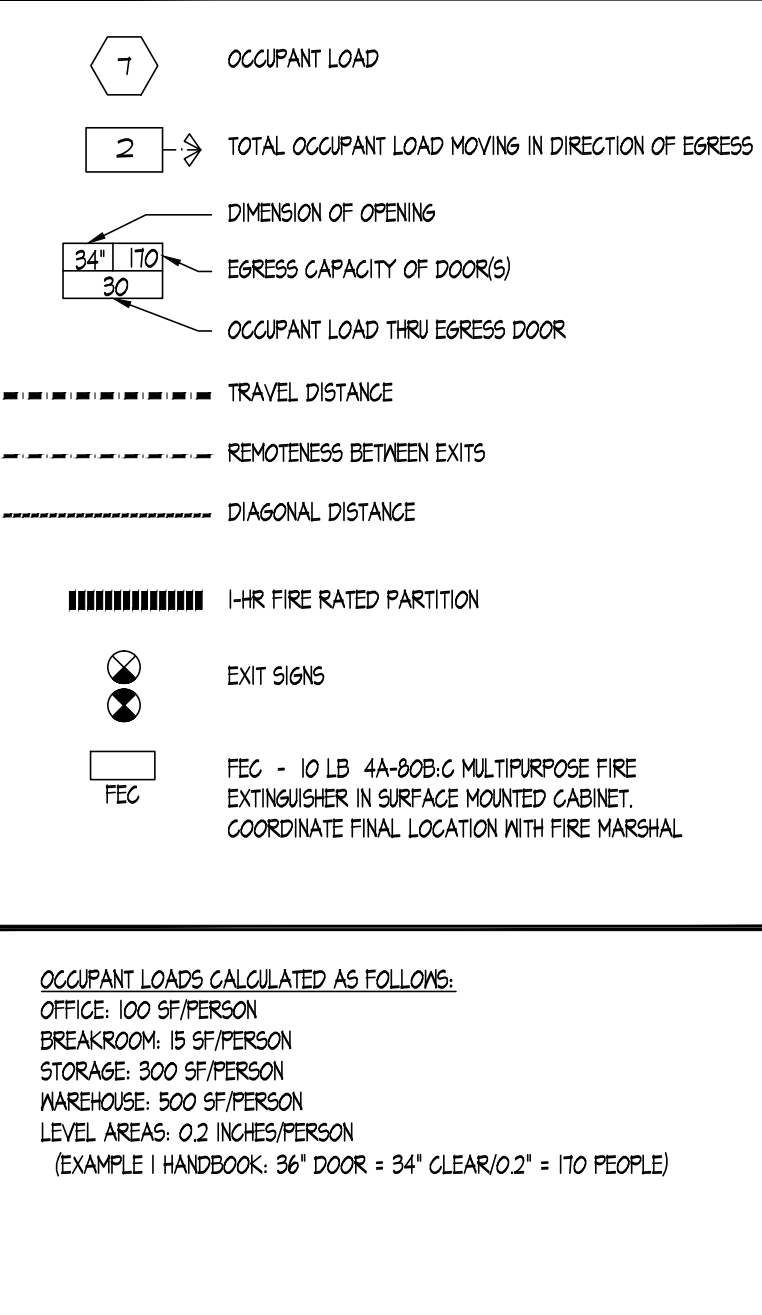
EGRESS PLAN SCALE: 1/8" = 1'-0" PLAN NORTH TRUE NORTH

SITE MAP



TRUE NORTH

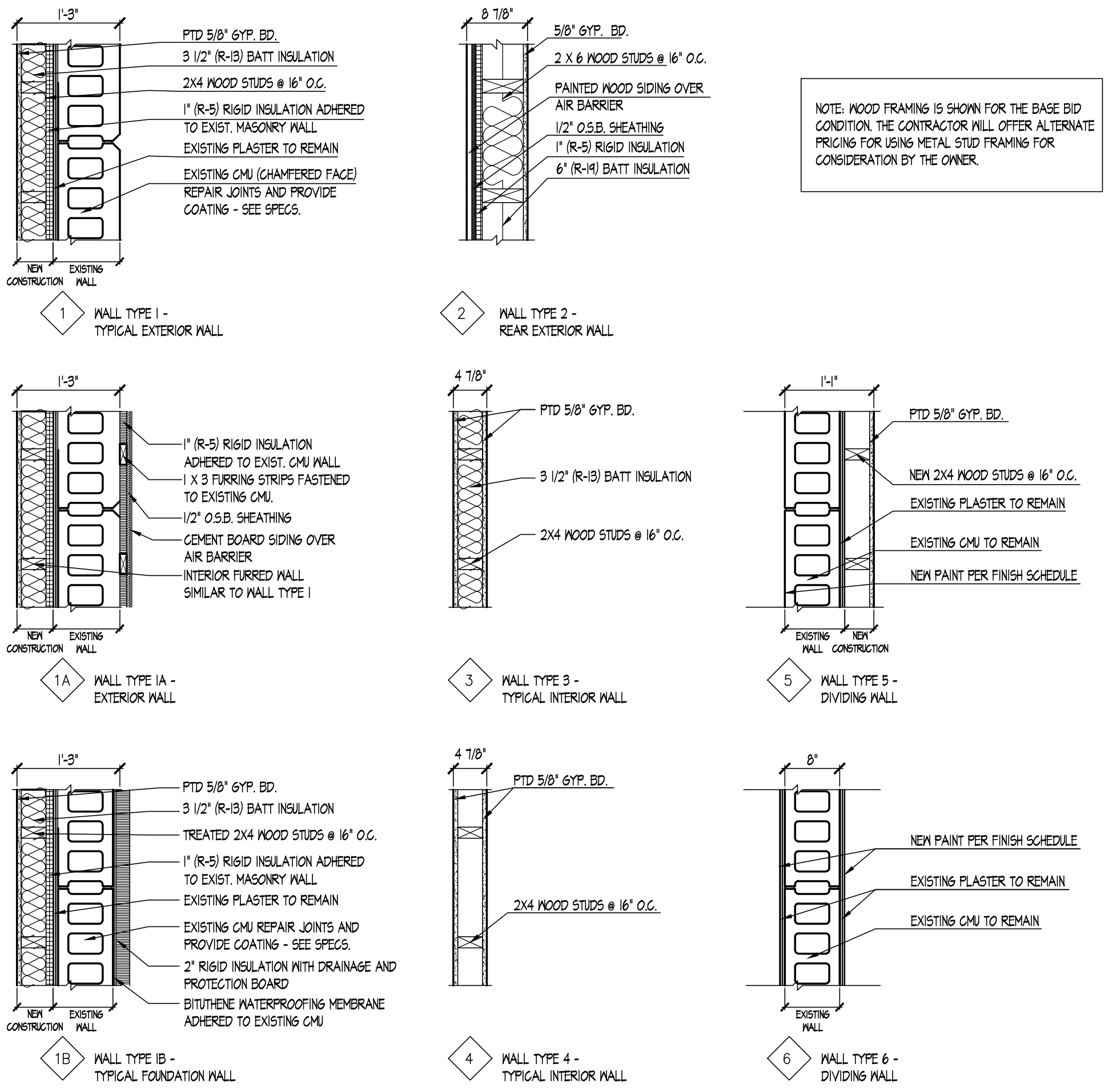
LEGEND



DRAWING INDEX

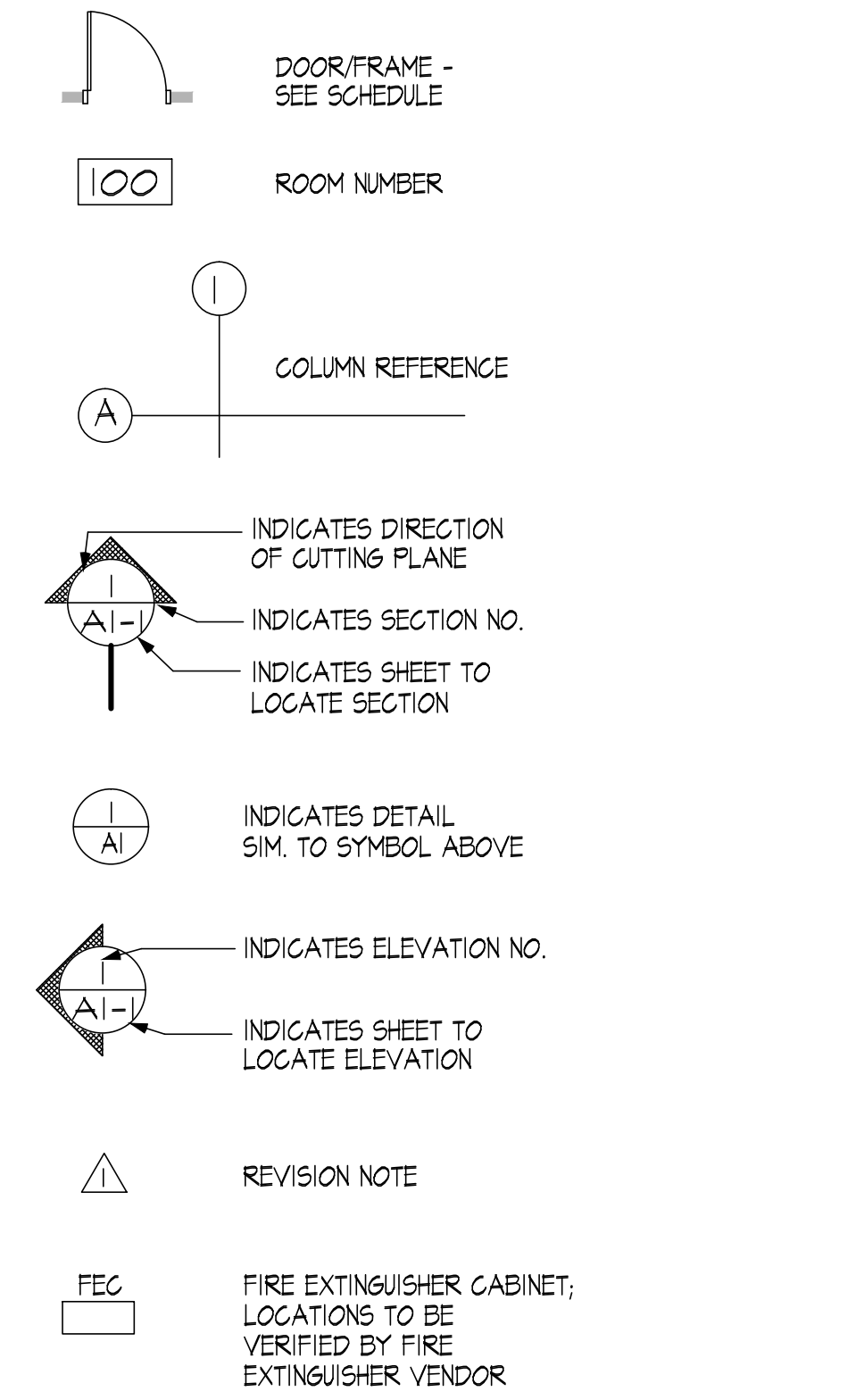
- GENERAL: AO-1 COVERSHEET
ARCHITECTURAL: AO-2 SPECIFICATIONS AO-3 SPECIFICATIONS DI-1 DEMOLITION FLOOR PLAN & ELEVATIONS AI-1 FLOOR PLANS AI-2 ROOF PLAN AS-1 EXTERIOR ELEVATIONS AS-2 EXTERIOR ELEVATIONS A4-1 BUILDING SECTIONS, STAIR SECTIONS A5-1 WALL SECTIONS A5-2 DETAILS A6-1 REFLECTED CEILING PLAN A7-1 FINISH SCHEDULE & INTERIOR ELEVATIONS A7-2 DOOR SCHEDULE, WINDOW AND DOOR DETAILS
STRUCTURAL: S1-1 STRUCTURAL NOTES S1-2 STRUCTURAL NOTES S2-1 TYPICAL FOUNDATION DETAILS S2-2 TYPICAL FRAMING DETAILS S3-1 TYPICAL FOUNDATION DETAILS S3-2 BASEMENT AND FIRST FLOOR PLANS S3-3 ROOF FRAMING PLAN S4-1 FOUNDATION DETAILS S5-1 FRAMING DETAILS
PLUMBING: P0.1 BASEMENT & 1ST FL. PLAN PLUMBING - DEMO P1.1 BASEMENT & 1ST FL. PLAN PLUMBING - NEW P2.1 PLUMBING/PIPING SCHEDULES & DETAILS
MECHANICAL: M1.1 BASEMENT & FIRST FLOOR PLAN - HVAC M2.1 DETAILS - HVAC M2.2 SCHEDULES, NOTES & LEGEND - HVAC
ELECTRICAL: E0.1 BASEMENT & FIRST FLOOR PLAN - DEMO E1.1 BASEMENT & FIRST FLOOR PLAN - POWER E2.1 BASEMENT & FIRST FLOOR PLAN - LIGHTING E3.1 BASEMENT & FIRST FL. PLAN - FIRE ALARM E4.1 BASEMENT & FIRST FLOOR PLAN - SCHEDULE/DETAIL

WALL TYPES

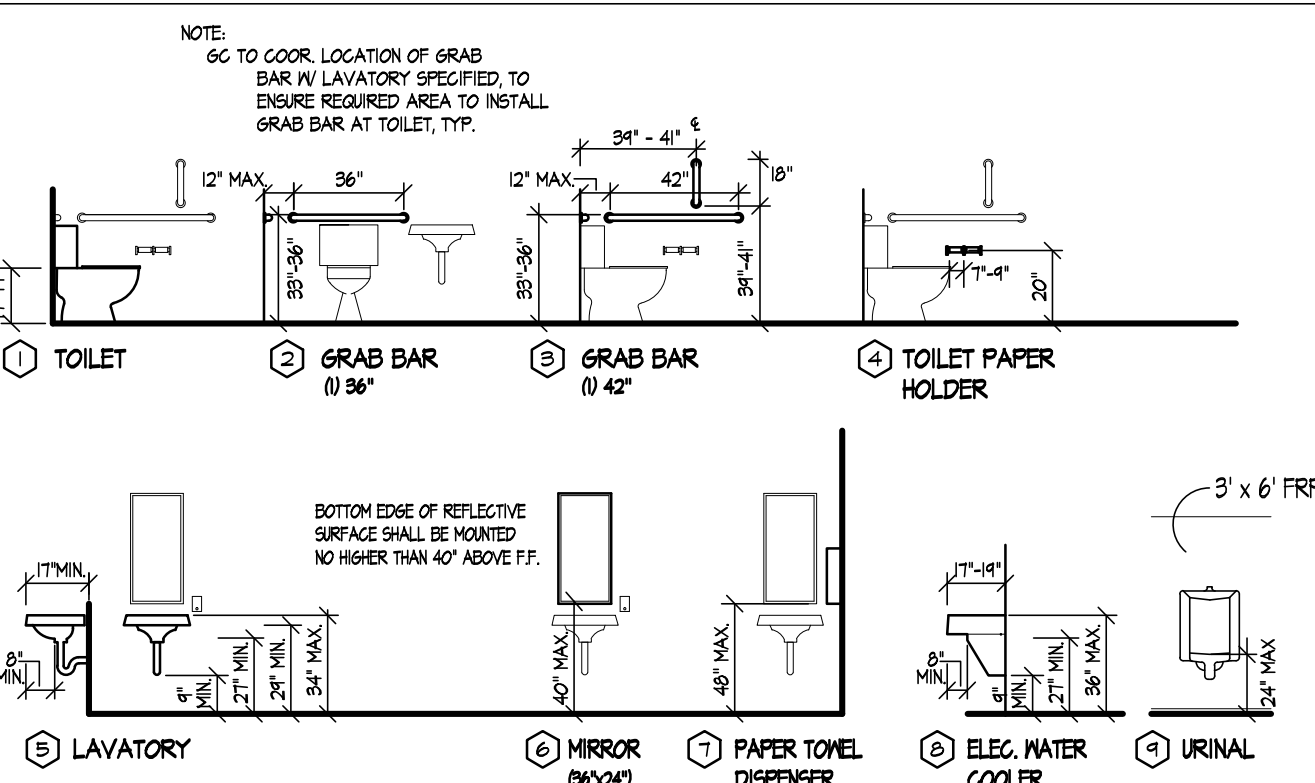


NOTE: WOOD FRAMING IS SHOWN FOR THE BASE BID CONDITION. THE CONTRACTOR WILL OFFER ALTERNATE PRICINGS FOR USING METAL STUD FRAMING FOR CONSIDERATION BY THE OWNER.

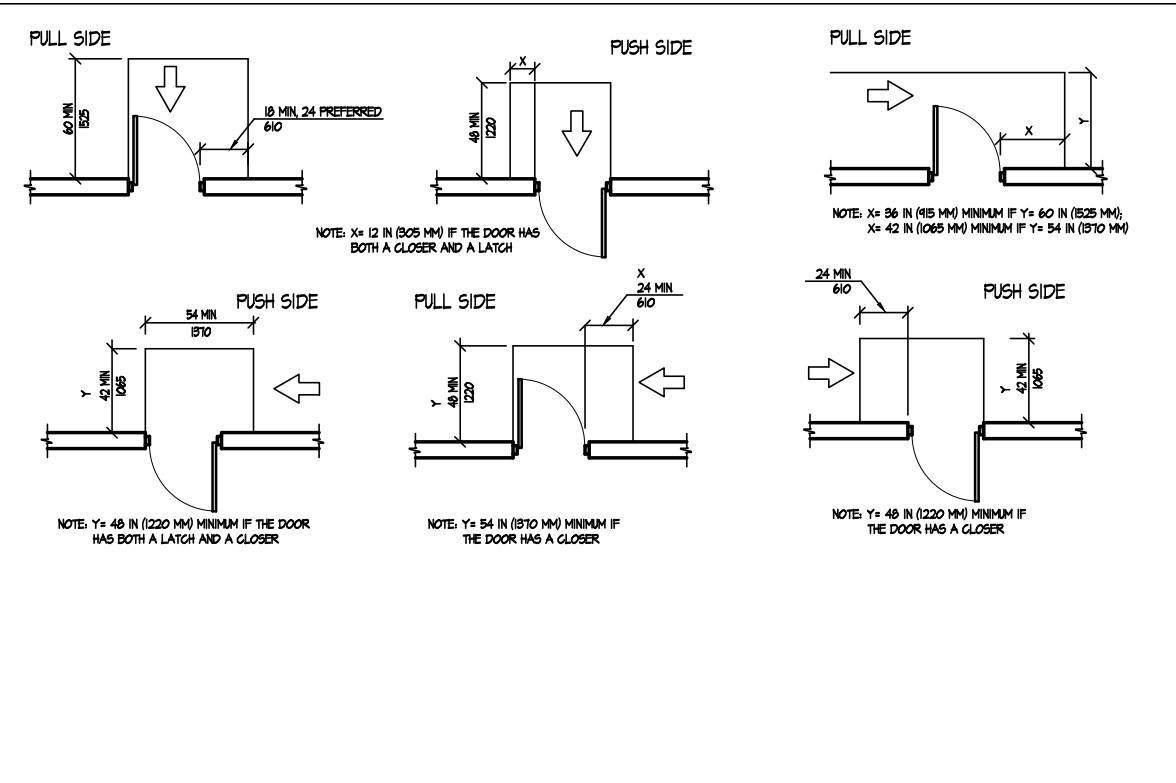
LEGEND



'ADAAG' ACCESSIBILITY REQUIREMENTS ACCESSORY/ FIXTURE MOUNTING LEGEND



MANEUVERING CLEARANCES AT DOORS



GENERAL NOTES

- 1. BIDDERS SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS.
2. CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND CONDITIONS BEFORE SUBMITTING SHOP DRAWINGS AND BEFORE COMMENCING WORK.
3. DISTURB AS SMALL AN AREA OF THE SITE AS POSSIBLE DURING CONSTRUCTION OPERATIONS UNLESS OTHERWISE NOTED, PREPARE AND SEED DISTURBED AREAS AT THE COMPLETION OF THE PROJECT.
4. REFER TO THE SPECIFICATIONS.
5. REPAIR ALL AREAS DISTURBED BY THE WORK OF THIS PROJECT.
6. DIMENSIONS ARE TO FACE OF MASONRY/CONCRETE UNLESS OTHERWISE NOTED.
7. WALL TYPES TO BE THE SAME CONTINUOUS TO END OF WALL OR NEXT WALL TYPE DESIGNATION.
8. SIMILAR WALL TYPES TO BE CARRIED ABOVE ALL DOORS, WINDOWS, AND OPENING UNLESS OTHERWISE NOTED.
9. FIRESTOP ALL JOINTS AS REQUIRED BY CODE.

PROFFITT & ASSOC. ARCHITECTS

100 NORTH MARKET STREET FREDERICK, MARYLAND 21701 (301) 662-8532 FAX (301) 662-4192 info@proffittandassociates.com

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND I AM AN ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 5250-A EXPIRATION DATE 05-25-15

RENOVATIONS TO 10 SOUTH BENTZ STREET FOR CAS ENGINEERING 10 SOUTH BENTZ STREET FREDERICK, MARYLAND 21701

ISSUE

Table with columns for REV, DATE, and DESCRIPTION. Row 1: 4/8/14, BD SET SUBMISSION.

PROJECT NO.: 11-13 DATE: 3-7-2014

COVERSHEET

AO-1

DIVISION 08 - OPENINGS

08100-METAL DOORS AND FRAMES

- 1. MANUFACTURERS: MANUFACTURERS ARE SUBJECT TO EVALUATION AND INCLUSION BY ARCHITECT/SPECIFIER...
2. CONSTRUCT EXTERIOR AND INTERIOR DOOR OF GAUGE AS SPECIFIED:
3. ALL HOLLOW METAL DOORS SHALL BE CONSTRUCTED FLUSH WITH VISIBLE EDGE SEAMS OF COLD-ROLLED STEEL OR HOT DIPPED GALVANNEALED STEEL...
4. REINFORCE DOORS TO ACCEPT HARDWARE AS FOLLOWS:
5. PROVIDE GLASS TRIM OF MIN. 24 GAUGE FOR DOORS WITH CUTOUTS...
6. ALL FRAMES SCHEDULED TO BE INSTALLED IN MASONRY SHALL BE FACTORY FABRICATED IN FULL WITH ALL JOINTS MITERED...
7. ALL FRAMES SCHEDULED TO BE INSTALLED IN GYPSUM BOARD CONSTRUCTION SHALL BE 'KNOCK-DOWN' TYPE...
8. PRIME PAINTING: ALL HOLLOW METAL DOORS AND FRAMES SHALL BE CLEANED AND THEN PRIMED PAINTED WITH RUST RESISTANT METAL PRIMER.

08200 PRE-HUNG MOLDED WOOD DOORS

- 1. MANUFACTURERS: MANUFACTURERS ARE SUBJECT TO EVALUATION AND INCLUSION BY ARCHITECT/SPECIFIER...
2. PROVIDE PRE-HUNG MOLDED HI-DENSITY FIBERBOARD DOORS AS SHOWN ON PLAN...
3. FACTORY PREFIT AND BEVEL DOORS (3 DEG.) AND MATCH TO FRAME SIZES INDICATED...
4. FACTORY PRE-MACHINE DOORS FOR HARDWARE THAT IS NOT SURFACE APPLIED...
6. INSTALL TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND OR REFERENCED AWI STANDARD...
7. ALIGN AND FIT DOORS/PRE-HUNG FRAMES WITH UNIFORM CLEARANCES AND BEVELS...
8. PROVIDE AND INSTALL DOOR CASING AND TRIM AS A COMPONENT OF THE DOOR KIT...
9. PROVIDE ALL NECESSARY PREPARATIONS TO RECEIVE NEW FINISH HARDWARE.

08300 - ACCESS PANELS

- 1. ACCESS PANELS IN RATED ASSEMBLIES: PROVIDE ACCESS PANELS AS REQUIRED IN RATED FLOOR AND WALL ASSEMBLIES...
PANELS SHALL BE MFR'D BY KARP ASSOC. OR EQUAL AND SHALL HAVE A UL RATING COMMENSURATE WITH THE ASSEMBLY.

08400 - ALUMINUM ENTRANCES AND STOREFRONTS

- 1. PRODUCTS: PROVIDE ENTRANCE AND STOREFRONT SYSTEMS FROM ONE OF THE FOLLOWING -
A. KAWNEER COMPANY
B. EFCO CORPORATION
C. YKK PRODUCTS
2. ENTRANCE SYSTEM STANDARD OF QUALITY: KAWNEER 190 NARROW STILE SERIES WITH 2 1/8" VERTICAL STILES...
3. STOREFRONT SYSTEM STANDARD OF QUALITY: KAWNEER TRIFAB VG451 / 451T THERMAL WINDOW SYSTEM WITH FACE DIMENSION OF 2" AND THICKNESS OF 4 1/2"
4. FINISH: KYNAR
5. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS AND FINISH SAMPLES (3) FOR APPROVAL...
6. HARDWARE: COORDINATE HARDWARE WITH SECTION 08700...
7. GLAZING: COORDINATE GLAZING WITH 08800.

08600 - WOOD WINDOW / DOOR RESTORATION

- 1. ALL WORK SHALL CONFORM TO SECRETARY OF INTERIOR'S GUIDELINES FOR WOOD WINDOW RESTORATION...
2. RESTORATION DETAILS AND ELEVATIONS ARE SHOWN DIAGRAMMATICALLY...
THOROUGHLY REVIEW THE CONDITION OF EACH OPENING AND DETERMINE WHICH COMPONENTS NEED REHABILITATION OR REPLACEMENT PRIOR TO SUBMITTING BIDS.

08700-HARDWARE

- 1. PROVIDE NEW STANDARD DUTY COMMERCIAL GRADE HARDWARE WITH LEVER TRIM FOR ALL DOORS TO MEET ANSI A117.1 AS SCHEDULED AND SPECIFIED HEREIN.
2. INSTALL TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND OR REFERENCED AWI STANDARD.
3. ACCEPTABLE MANUFACTURERS:
STANLEY HINGES
CORBIN-RUSSWIN LOCKSETS, EXIT BOLTS, CLOSERS
ROCKWOOD FLOOR STOPS, WALL STOPS
PEMCO THRESHOLDS, WEATHERSTRIPPING, DOOR SWEEPS
VON DUPRIN REMOVABLE MULLIONS
NO CHANGES IN MATERIALS OR MANUFACTURERS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL.
4. HINGES:
A. ALL HINGES TO BE HEIGHT SHOWN WITH PROPER THROW TO CLEAR TRIM NEATLY...
B. HINGES FOR EXTERIOR DOORS OPENING OUT SHALL HAVE NON-REMOVABLE PIN FEATURE AND SOLID BRONZE BASE MATERIAL.
C. BALL BEARING HINGES SHALL BE ATTACHED TO THE HINGES AND SHALL BE PACKED WITH GREASE.
5. LOCKSETS AND EXIT DEVICES:
A. LOCKSETS SHALL BE CORBIN-RUSSWIN HEAVY DUTY LEVER LOCKSETS, CL3500 SERIES.
B. STRIKES TO HAVE CURBED LIP WITH PROPER LENGTH TO PROTECT JAMB AND TO BE OF THE PROPER TYPE TO SUIT CONDITIONS.
C. WITHOUT EXCEPTION, EXIT BOLTS ARE TO HAVE SEX NUTS AND BOLTS, LOCK CASE AND HINGE CASE.
D. TRIM FOR LOCKSETS SHALL BE CORBIN-RUSSWIN PRINCETON (AZD) LEVER DESIGN UNLESS OTHERWISE NOTED.
E. NEW EXIT DEVICES SHALL BE CORBIN RUSSWIN ED5200 SERIES WITH RIM CONFIGURATION.
6. CLOSERS:
A. ALL DOOR CLOSERS SHALL BE UL LISTED - DC6210 AS MANUFACTURED BY CORBINRUSSWIN...
B. CLOSING AND LATCHING SPEEDS SHALL BE CONTROLLED BY SEPARATE, NON-CRITICAL VALVES...
C. DOOR CLOSERS SHALL BE UNIVERSAL TYPE, NON-HANDED...
D. ADJUSTABLE BACKCHECK FEATURE STANDARD...
E. ALL CLOSERS TO BE FURNISHED WITH HEX NUTS AND BOLTS...
8. STOPS AND HOLDERS:
A. STOPS SHALL BE SUPPLIED FOR ALL DOORS NOT EQUIPPED WITH A HOLDING OR STAY DEVICE
B. FLOOR STOPS SHALL BE USED EXCEPT IN AREAS WHERE THEIR LOCATION WOULD IMPEDE TRAFFIC...
C. WALL STOPS OR BUMPERS SHALL BE USED IN AREAS WHERE FLOOR STOPS ARE PROHIBITED...
D. FURNISH SILENCERS, AS FOLLOWS, FOR ALL NEW HOLLOW METAL FRAMES...
9. FINISH - US26D - SATIN CHROMIUM PLATED...
10. COORDINATE KEYING WITH OWNER.

HARDWARE SCHEDULE:

SET #1 - ALUMINUM ENTRY DOORS
HARDWARE TO BE PROVIDED BY ALUMINUM DOOR MFR. INCLUDING:
3PR. PIVOT HINGES
1 DEAD BOLT AND CYLINDER
1 SET HEAD/FOOT BOLTS ON PASSIVE LEAF
1 SET PULLS
1 SET PUSH BARS
2 CLOSERS W/ STOPS
1 SET WEATHER STRIPPING
1 THRESHOLD
SET #2 - EXTERIOR DOOR
3 HINGES - NRP
1 EXTERIOR LOCKSET
1 CYLINDER
1 CLOSER W/ STOP
1 KICK PLATE
1 SET WEATHER STRIPPING
1 THRESHOLD
SET #3 - INTERIOR DOOR - STAIRWAY/CORRIDOR
3 HINGES
1 LOCKSET
2 KICK PLATES
1 SET BUMPERS
1 WALL STOP

DOOR HARDWARE - CONTINUED

SET #4 - OFFICE DOOR
3 HINGES
1 LOCKSET - OFFICE FUNCTION
1 SET BUMPERS
1 WALL STOP
SET #5 - RESTROOM DOOR
3 HINGES
1 LOCKSET - PRIVACY FUNCTION
1 CLOSER
1 SET BUMPERS
1 WALL STOP
SET #6 - MECHANICAL ROOM
3 HINGES
1 LOCKSET - STORAGE FUNCTION
1 CLOSER
1 SET BUMPERS
1 WALL STOP
SET #7 - CUSTODIAL ROOM
3 PR. HINGES
1 LOCKSET - STORAGE FUNCTION
1 SET HEAD/FOOT BOLTS - PASSIVE LEAF
1 CLOSER - ACTIVE LEAF
1 FLOOR STOP
1 KICK PLATE
2 SETS BUMPERS

08800 - GLAZING

- 1. MANUFACTURERS: PROVIDE GLAZING SYSTEMS BY ONE OF THE FOLLOWING:
A. PPG INDUSTRIES, INC.
B. AFG INDUSTRIES, INC.
C. GUARDIAN INDUSTRIES, INC.
D. LOF GLASS, INC.
2. GLAZING TYPES:
A. (TYPE G-1) FLOAT GLASS: POLISHED, CLEAR, 0.25" THICK
B. (TYPE G-2) SAFETY GLASS (INTERIOR GLAZING): CLEAR TEMPERED, 0.25" THICK...
3. SEALANT: ELASTIC NON-HARDENING GLAZING SEALANT...
4. SETTING BLOCKS: NEOPRENE, HARDNESS: 70 TO 80 SHORE A DUROMETER...

DIVISION 09 - FINISHES

09250-PLASTER AND GYPSUM BOARD

- 1. INSTALL GYPSUM WALLBOARD IN 48" WIDTHS AND IN SUCH LENGTHS AS WILL RESULT IN A MINIMUM OF JOINTS...
2. WHETHER OR NOT SHOWN ON THE DRAWINGS, PROVIDE A COMPLETE SYSTEM OF METAL TRIM FORMED FROM ZINC-COATED STEEL...
3. INSTALL A JOINTING SYSTEM INCLUDING REINFORCING TAPE, AND COMPOUND...
4. APPLICATION OF TYPES:
A. REGULAR (INSTALLED AT CEILINGS IN NON RATED ASSEMBLIES)...
B. REGULAR (INSTALLED AT WALLS IN NON RATED ASSEMBLIES)...
C. FIRE RATED (INSTALLED AT WALLS AND CEILINGS IN RATED ASSEMBLIES)...
D. WATER RESISTANT GYPSUM BOARD...
5. FASTENERS: 1-1/2" GWB-54 ANNULAR RINGED NAILS OR 1-1/4" DRYWALL SCREWS...
6. DRYWALL ACCESSORIES INCLUDE CORNER AND CASING BEADS...
7. JOINT TREATMENT SYSTEM: INCLUDES PERFORATED TAPE, JOINT COMPOUND AND TOPPING COMPOUND...
8. EXPANSION JOINTS: USG CONTROL JOINT #093
9. FINISH: SMOOTH SURFACE WITHOUT IRREGULARITIES READY TO RECEIVE FINISHES.

09500-CEILING

- 1. PROVIDE AND INSTALL ACOUSTICAL CEILING TILE AND GRID SYSTEM AS INDICATED ON THE CONSTRUCTION DRAWINGS...
A. CEILING TILE: ARMSTRONG WORLD INDUSTRIES, INC. - CORTEGA...
B. CEILING GRID: CHICAGO METALLIC, INC. - 511 SNAP GRID SYSTEM...
2. PRODUCT DATA: SUBMIT MANUFACTURER'S TECHNICAL DATA...
3. SAMPLES: MINIMUM 6 INCH X 6 INCH SAMPLES OF SPECIFIED ACOUSTICAL PANEL...
4. MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL UNITS...
5. INSTALL SUSPENSION SYSTEM AND PANELS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS...
6. FOR REVEAL EDGE PANELS: CUT AND REVEAL OR RABBIT EDGES...
7. INSTALL ACOUSTICAL PANELS IN COORDINATION WITH SUSPENDED SYSTEM...

09900-COATINGS

- 2. INTERIOR PAINT (NEW CMU): 1 COAT DURON BLOCK KOTE FILLER...
3. INTERIOR PAINT (EXIST. CMU): CONFIRM PAINT TYPE ON WALL...
4. INTERIOR PAINT (NEW GYP. BD.): 1 COAT DURON ULTRA DELUXE INTERIOR DRYWALL VINYL PRIMER SEALER...
5. INTERIOR PAINT (EXIST. GYP. BD.): CONFIRM PAINT TYPE ON WALL...
6. INTERIOR PAINT (NEW FERROUS METAL): 1 COAT DURON DURA CLAD ALKYD WHITE ENAMEL PRIMER...
7. INTERIOR PAINT (EXISTING FERROUS METAL): 1 COAT DURON DURA CLAD ALKYD WHITE ENAMEL PRIMER...
8. MISCELLANEOUS ITEMS TO BE FIELD PAINTED INCLUDING ANY ITEMS/MATERIALS NOT FACTORY FINISHED.
9. PREPARATION OF EXISTING SURFACES TO BE REPAINTED SHALL INCLUDE BUT NOT BE LIMITED TO SURFACE ABRASION.
10. EXISTING MASONRY SHALL BE RESTORED AND PAINTED IN ACCORDANCE WITH SECRETARY OF INTERIOR'S GUIDELINES FOR RESTORING PAINTED SURFACES...

END OF SPECIFICATIONS



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DATE: 3-7-2014

SPECIFICATIONS

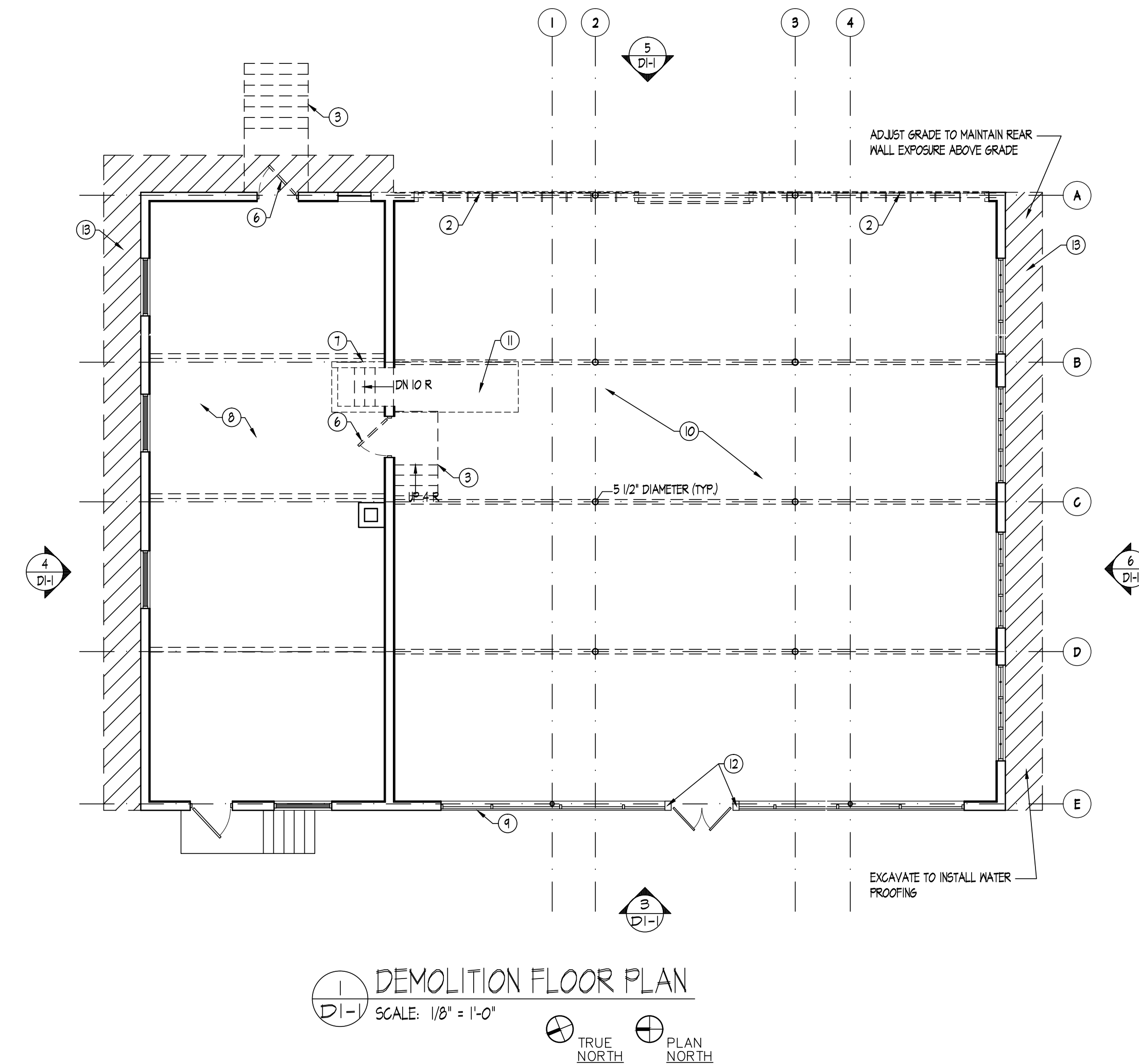
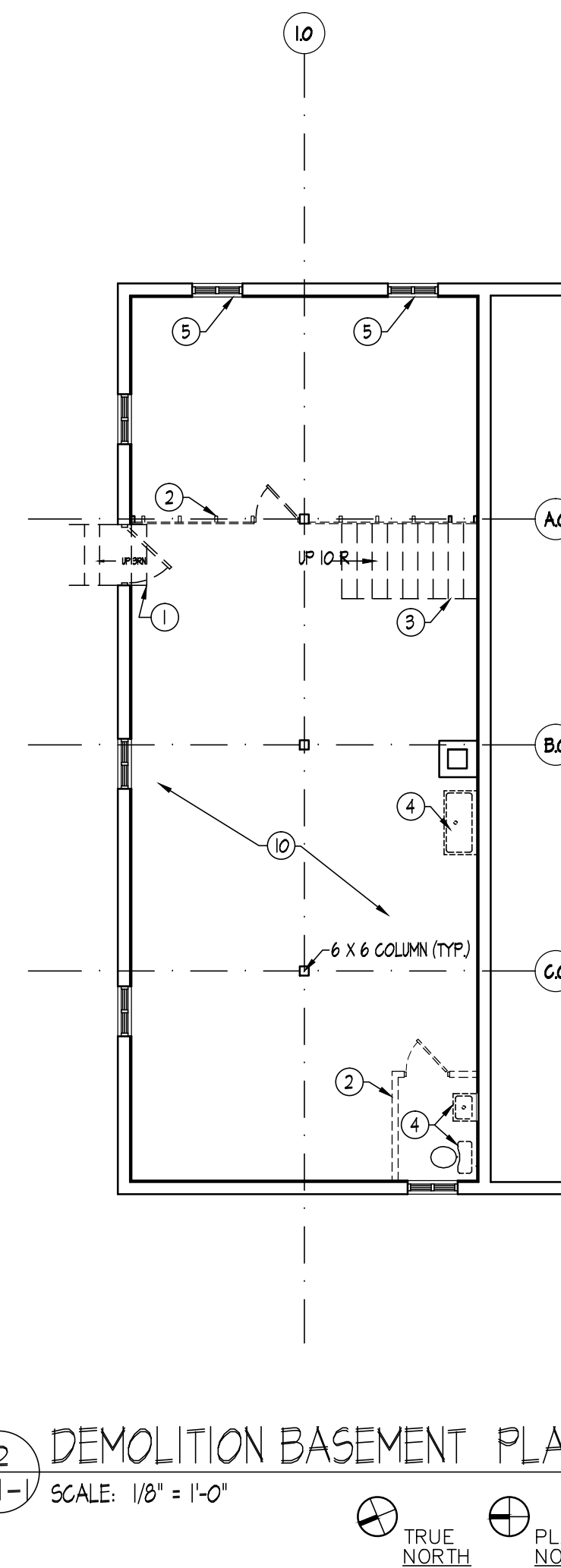
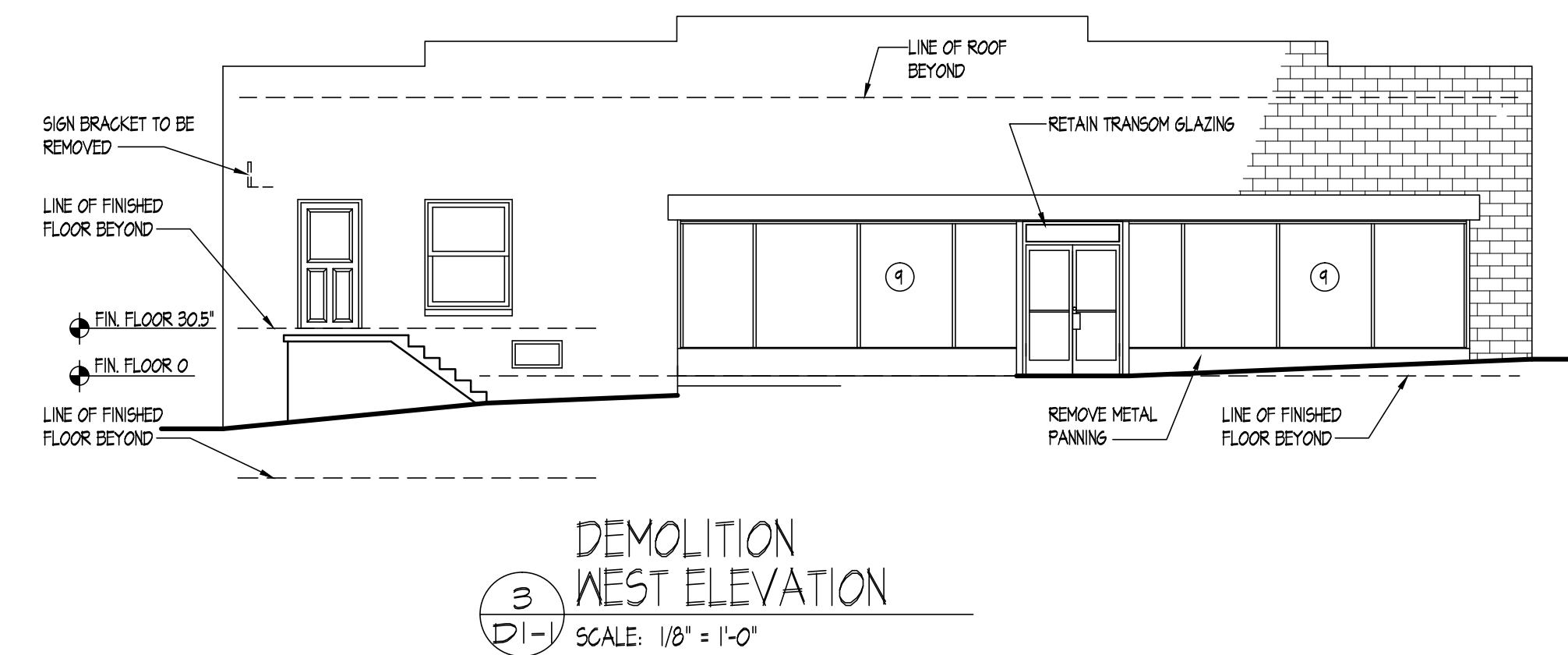
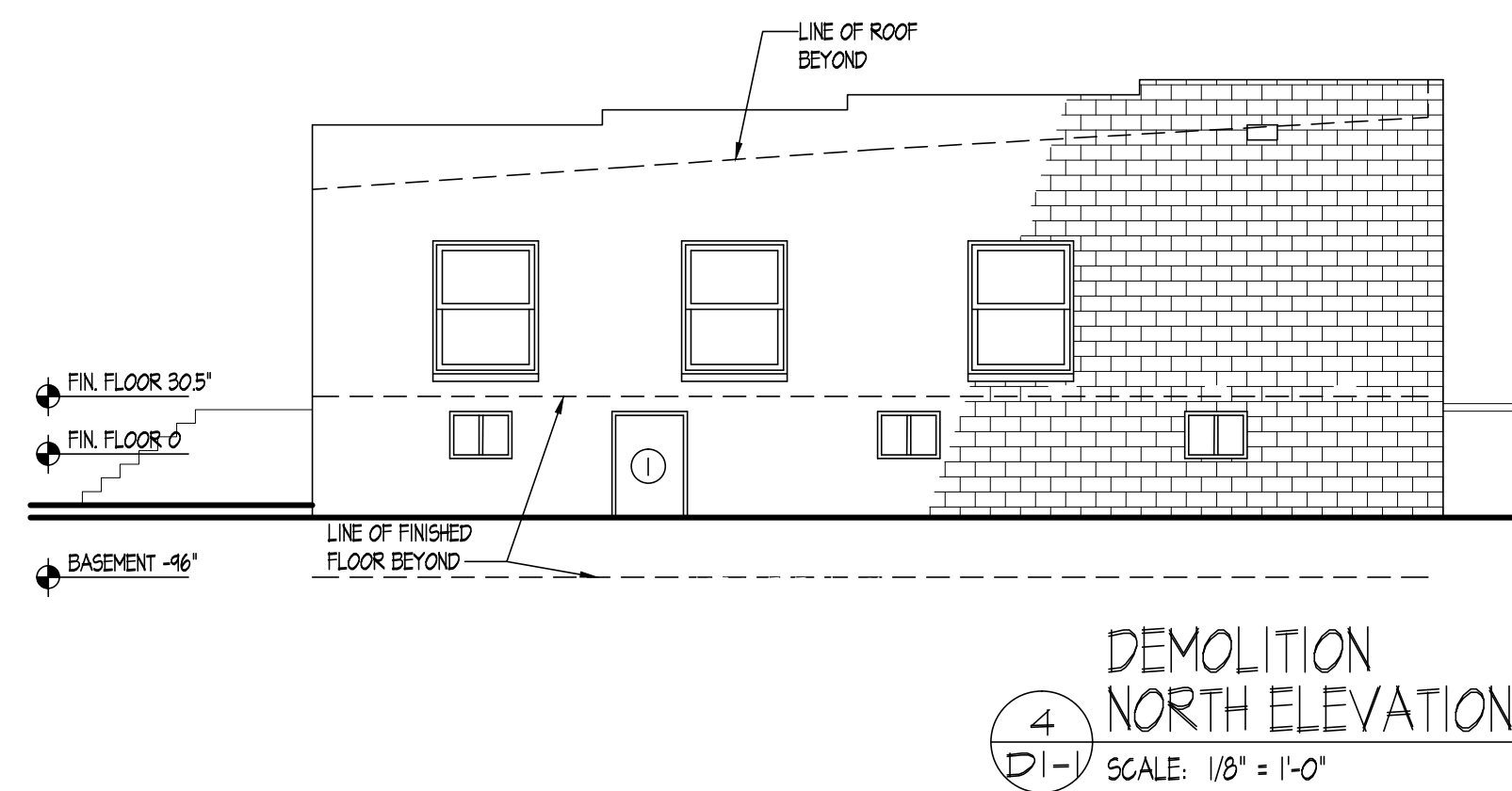
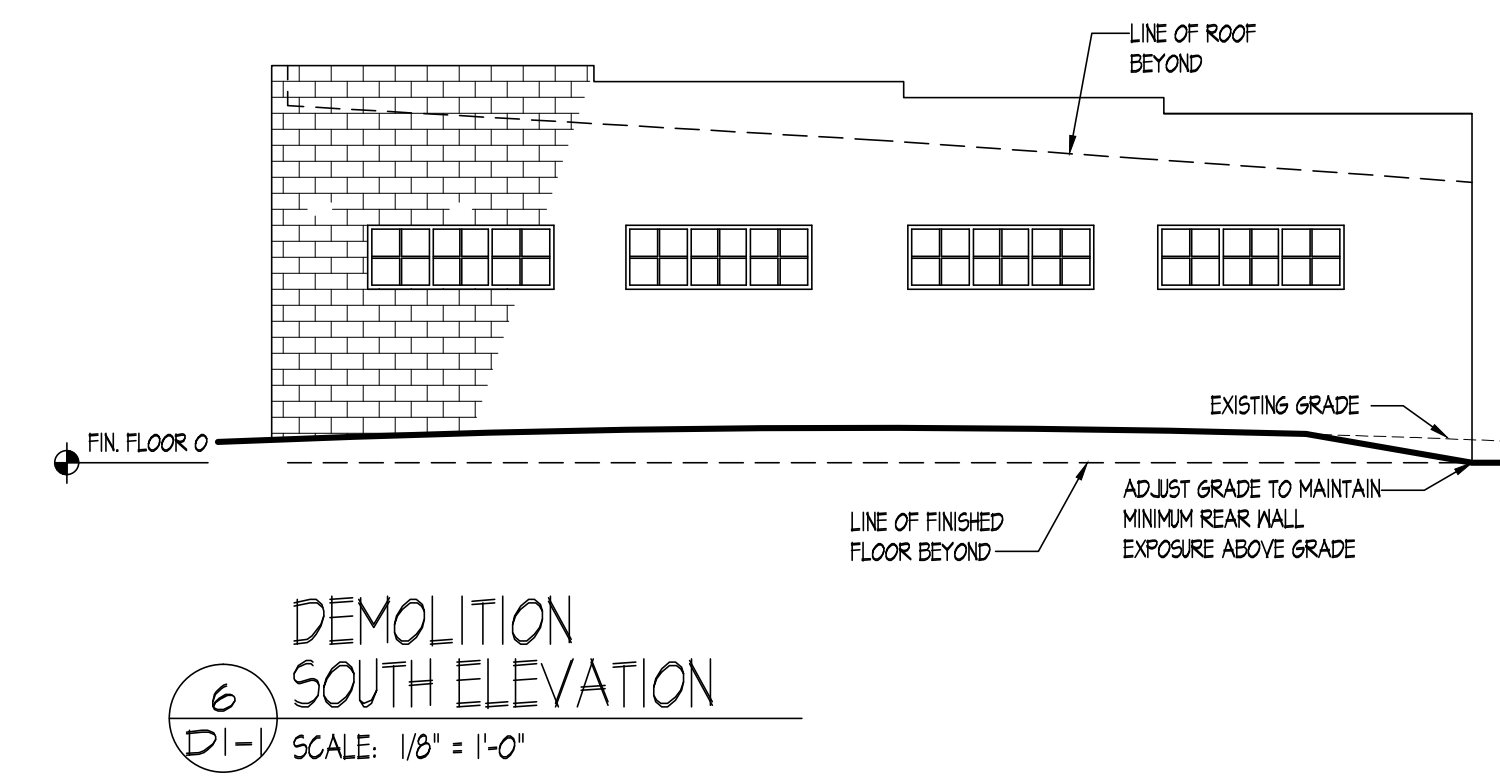
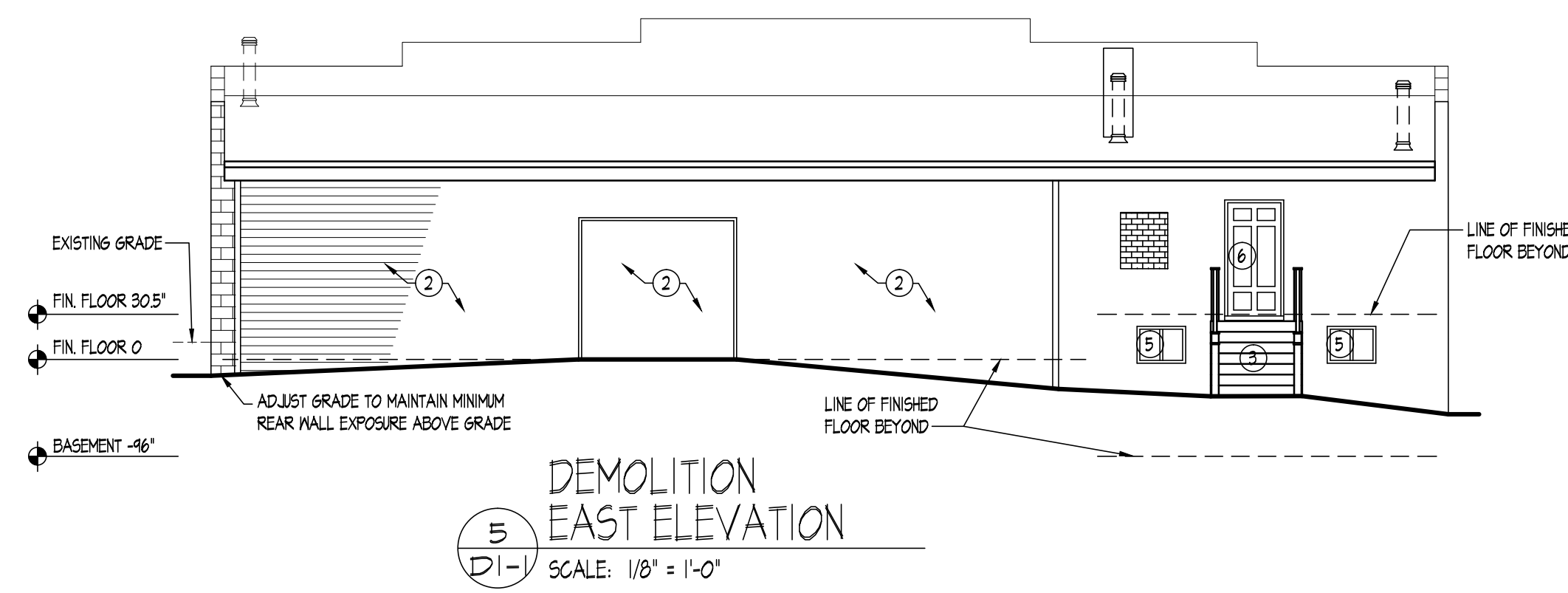
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GENERAL DEMOLITION NOTES:

- 1 - AREAS OF DEMOLITION ARE DENOTED BY DASHED LINES, UNLESS OTHERWISE NOTED.
- 2 - OWNER HAS FIRST REFUSAL RIGHTS ON ALL ITEMS / MATERIALS REMOVED INCLUDING BUT NOT LIMITED TO PEG BOARD, MIRROR, 4 GRANITE COUNTERTOP. ALL ITEMS / MATERIALS NOT RETAINED BY OWNER SHALL BE REMOVED AND RECYCLED, SALVAGED OR OTHERWISE DISPOSED OF IN ACCORDANCE WITH THE DIVISION 1 CONSTRUCTION WASTE MANAGEMENT PLAN SPECIFICATION REQUIREMENTS AND LEED GS MATERIALS AND RESOURCES CREDIT 2 REQUIREMENTS.
- 3 - COORDINATE DEMOLITION WITH PROPOSED NEW CONSTRUCTION.
- 4 - THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES AND TO PROVIDE AND BE RESPONSIBLE FOR SHORING AND BRACING REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD. ALL CROSS BRACING CABLES IN WALLS SHALL REMAIN IN PLACE UNTIL REPLACED BY NEW STRUCTURE WHERE NOTED. ROOF CROSS BRACING CABLES SHALL REMAIN.
- 5 - ANY ITEMS NOT NOTED TO BE DEMOLISHED, BUT REQUIRING REMOVAL IN ORDER TO ACCOMPLISH THE REQUIRED DEMOLITION WORK, SHALL BE REINSTALLED OR REPLACED IN KIND UPON COMPLETION OF THE NEW CONSTRUCTION.
- 6 - JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 7 - ANY AREAS DAMAGED BY THE DEMOLITION AND/OR CONSTRUCTION WORK SHALL BE REPAIRED AND/OR RECEIVE NEW SUBSTRATES, FINISHES, AND/OR MATERIALS TO MATCH THE EXISTING AFFECTED ITEMS. ANY REPAIR OR REPLACEMENT WORK SHALL BE PERFORMED TO A LEVEL OF QUALITY EQUAL TO THAT FOUND PRIOR TO BEGINNING WORK ON THIS PROJECT.
- 8 - THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE JOBSITE PRIOR TO STARTING WORK.
- 9 - THE SELECTIVE DEMOLITION AS SHOWN ON THE DRAWINGS IS DIAGRAMMATIC, AND IN NO WAY ATTEMPTS TO SHOW ALL EXISTING FIXTURES, CONNECTIONS, AND FITTINGS AND OTHER MISCELLANEOUS ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING/COORDINATING ALL MISCELLANEOUS DEMOLITION AS REQUIRED DUE TO FIELD CONDITIONS.
- 10 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL THE CONTAINMENT OF DUST AND DEBRIS DURING THE DEMOLITION PERIOD AND SHALL OBTAIN ALL REQUIRED PERMITS AND COORDINATE WITH THE CITY BUILDING DEPARTMENT THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- 11 - PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A DEMOLITION PLAN OUTLINING THE DESIRED PLACEMENT OF DUMPSTERS, DUST AND DEBRIS CONTROL MEASURES AND SCHEDULE OF ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO EACH DEMOLITION ACTIVITY.
- 12 - THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND WARRANTY REQUIREMENTS.
- 13 - REMOVE (E) FINISHES WHERE NEW FINISHES ARE TO BE APPLIED & PREPARE (E) SURFACES FOR APPLICATION OF NEW FINISHES.

DEMOLITION NOTES:

- 1 REMOVE DOOR AND CONCRETE RISERS. PREP OPENING FOR MASONRY INFILL.
- 2 REMOVE STUD WALL AND DOOR INCLUDING ALL ASSOCIATED BLOCKING.
- 3 REMOVE STAIR AND ASSOCIATED BLOCKING AND FOOTINGS.
- 4 REMOVE PLUMBING FIXTURE AND ASSOCIATED PIPING.
- 5 EXISTING WINDOW TO REMAIN AND BE RESTORED.
- 6 EXISTING DOOR TO REMAIN AND BE RESTORED.
- 7 REMOVE STUDWALL.
- 8 REMOVE LATH CEILING AND ALL INSULATION / DEBRIS.
- 9 REMOVE ALUMINUM STOREFRONT AND GLAZING. REMOVE METAL PANNING BELOW WINDOW. RETAIN TRANSOM GLAZING OVER EXISTING DOOR.
- 10 REMOVE EXISTING CONCRETE SLAB - INSTALL STONE BASE AND PREP FOR NEW SLAB.
- 11 REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ACCOMMODATE NEW STAIRS.
- 12 RELOCATE EXISTING STRUCTURAL STEEL MILLIONS AS REQUIRED TO ACCOMMODATE NEW OPENING. REDISE OR REPLACE AS REQUIRED. SHORE AS REQUIRED.
- 13 EXCAVATE PERIMETER WHERE EXISTING FLOOR IS BELOW GRADE. PREP FOUNDATION WALL AND INSTALL WATERPROOFING AND DRAIN. RESTORE DISTURBED AREA TO ORIGINAL GRADE AND REPLACE DAMAGED SIDEWALK.



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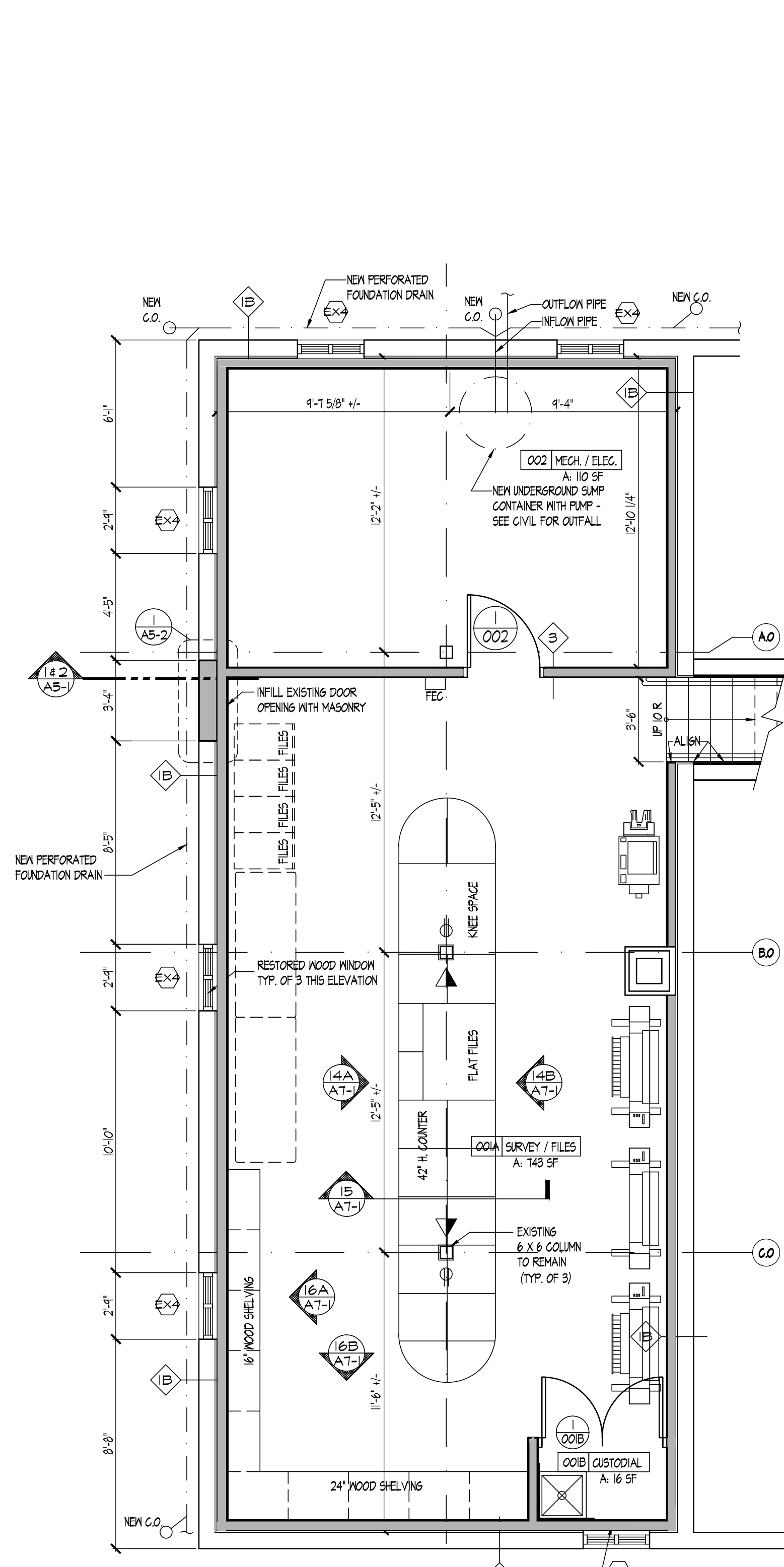
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| REV | DESCRIPTION |
| 4/8/14 | BD SET SUBMISSION |

PROJECT NO.: 11-13
DATE: 3-7-2014

DEMOLITION PLANS AND ELEVATIONS

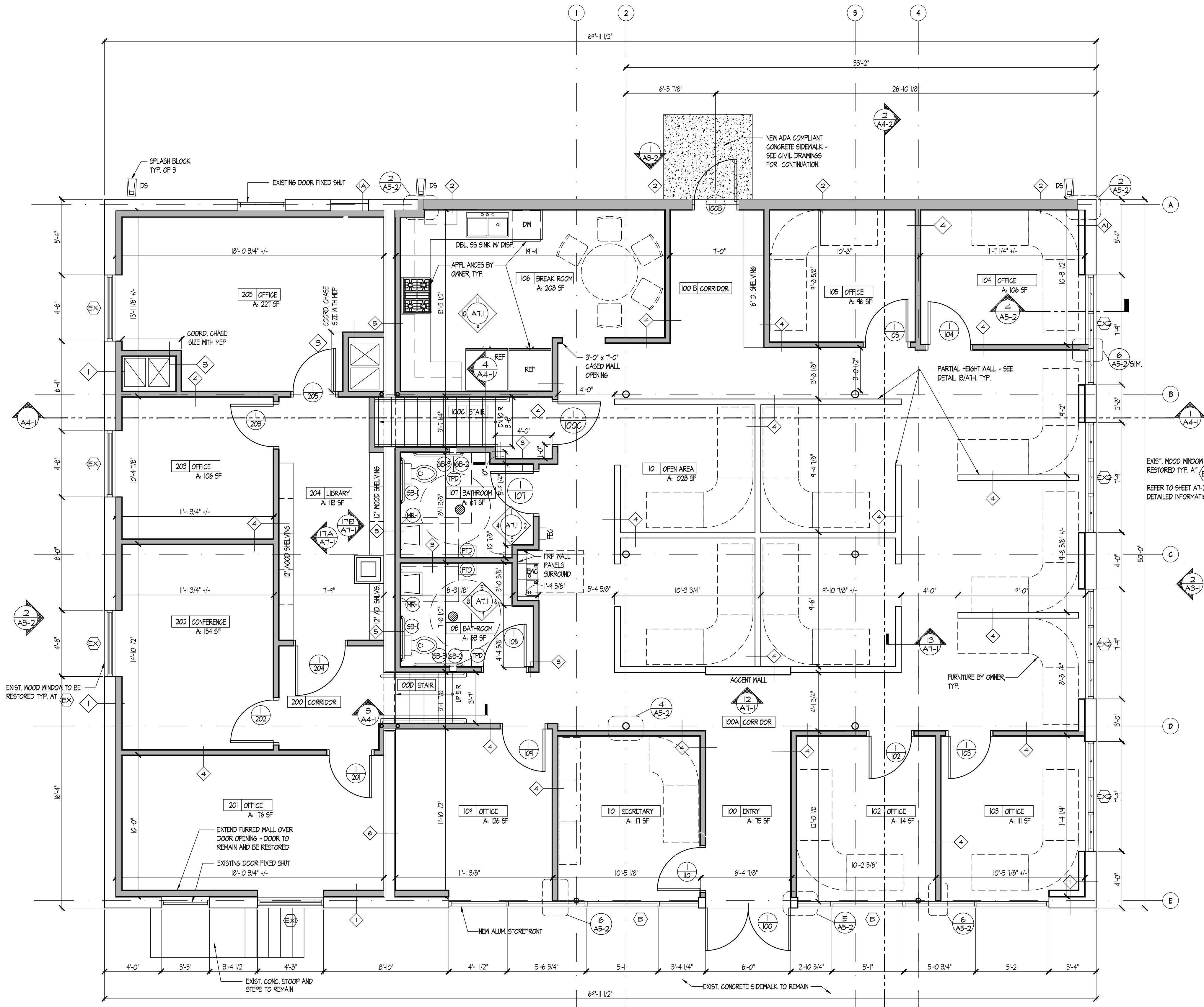
DI-1

| REV | DATE | DESCRIPTION |
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| 1 | 4/8/14 | BD SET SUBMISSION |



2 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"
TRUE NORTH PLAN NORTH



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
TRUE NORTH PLAN NORTH

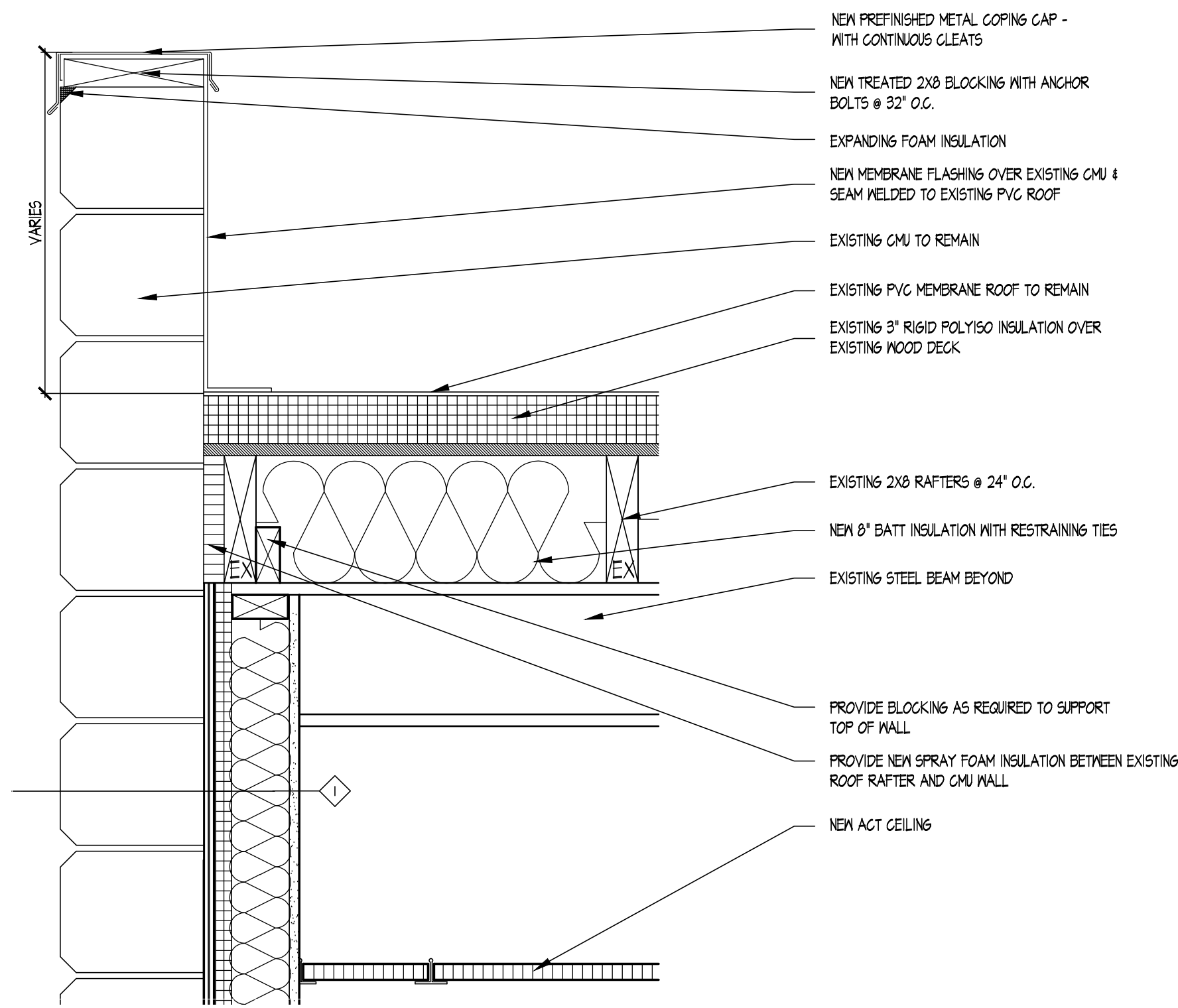
KITCHEN EQUIPMENT

| NOTE: | DESCRIPTION | PROVIDED BY |
|-------|-----------------|-------------------------|
| 1 | REFRIGERATOR | NEW - PROVIDED BY OWNER |
| 2 | DIAL FUEL RANGE | NEW - PROVIDED BY OWNER |
| 4 | DISH WASHER | NEW - PROVIDED BY OWNER |
| 5 | MICROWAVE | NEW - PROVIDED BY OWNER |

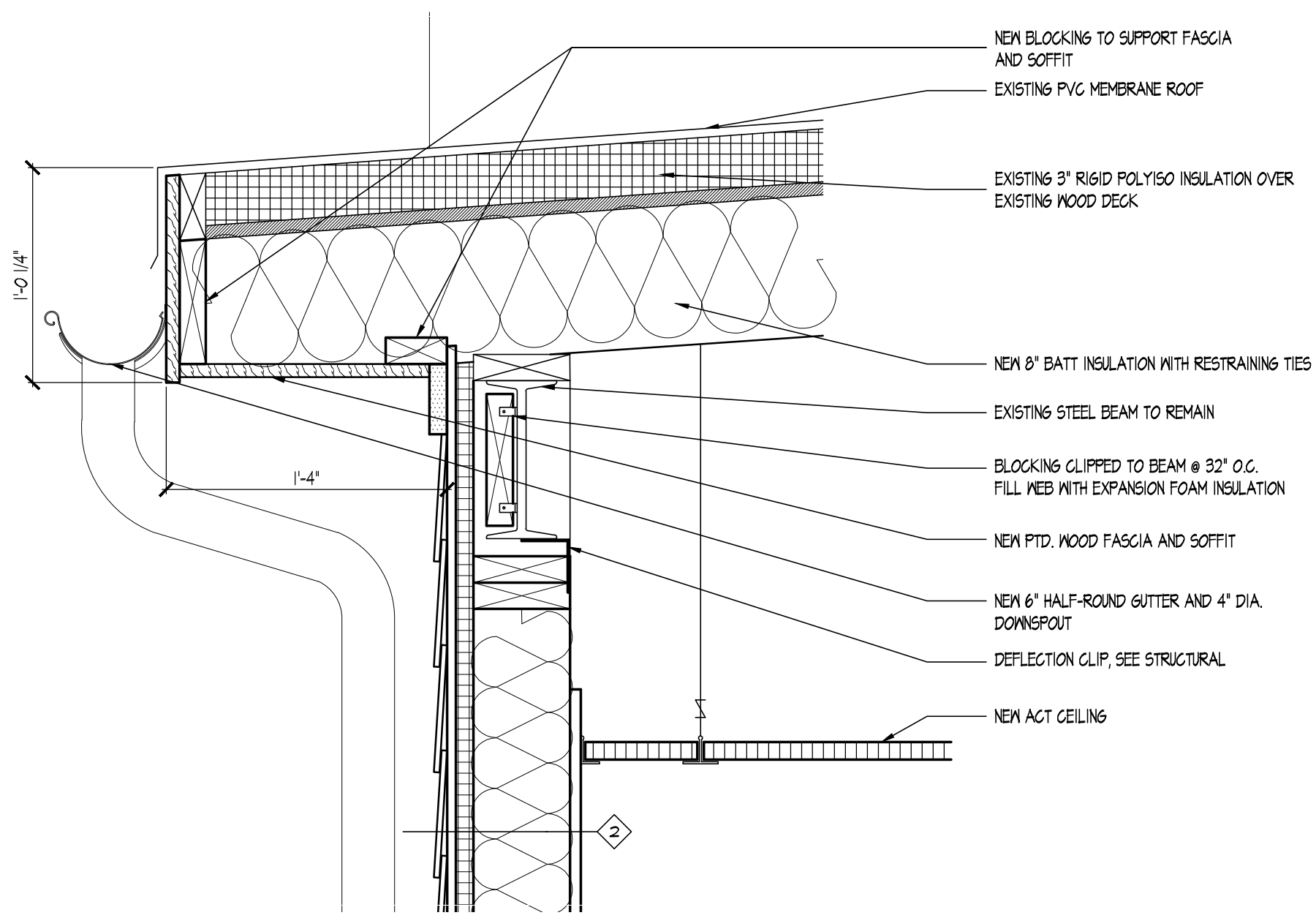
NOTE: 6.C. TO COORDINATE CABINET DIMENSIONS WITH APPLIANCES

TOILET ROOM ACCESSORIES

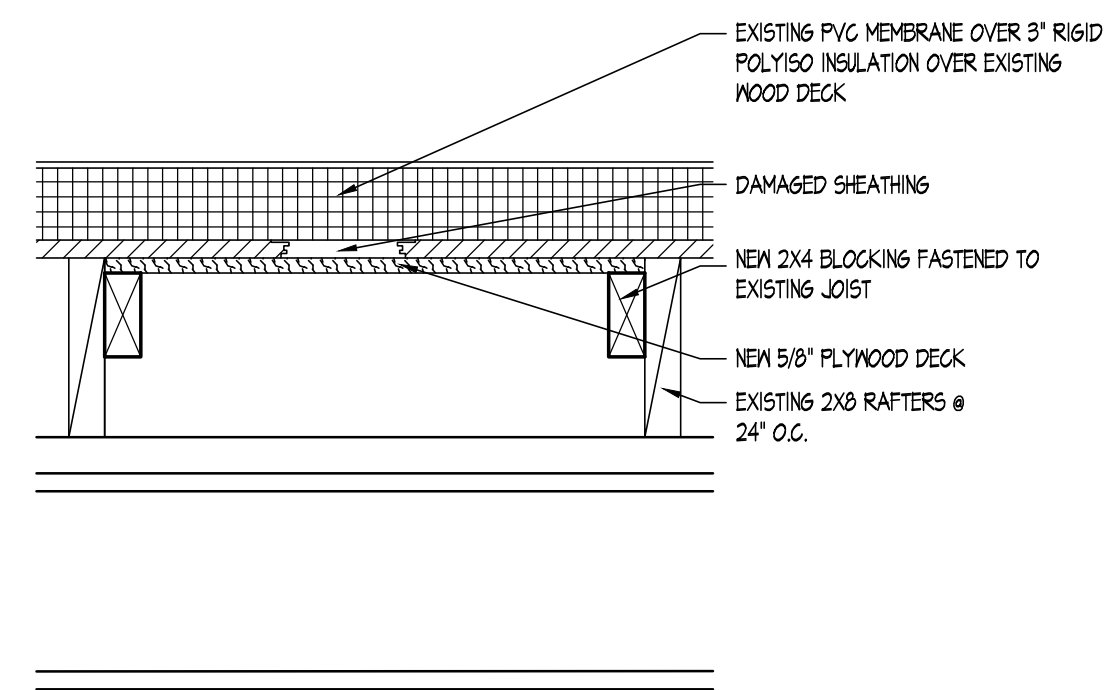
| CODE | DESCRIPTION | MANUF. NUMBER |
|------|---|---------------|
| GB-1 | GRAB BAR - Bobrick | B-6806 X 36 |
| GB-2 | GRAB BAR - Bobrick | B-6806 X 42 |
| GB-3 | GRAB BAR - Bobrick | B-6806 X 18 |
| MR-1 | MIRROR W/ S.S. FRAME 24" X 36" - Bobrick | B-240 2436 |
| PTD | PAPER TOWEL DISP. Georgia Pacific EnMotion Wall Mounted | 54460 |
| TFD | TOILET PAPER DISPENSER - Bobrick | B-663 |



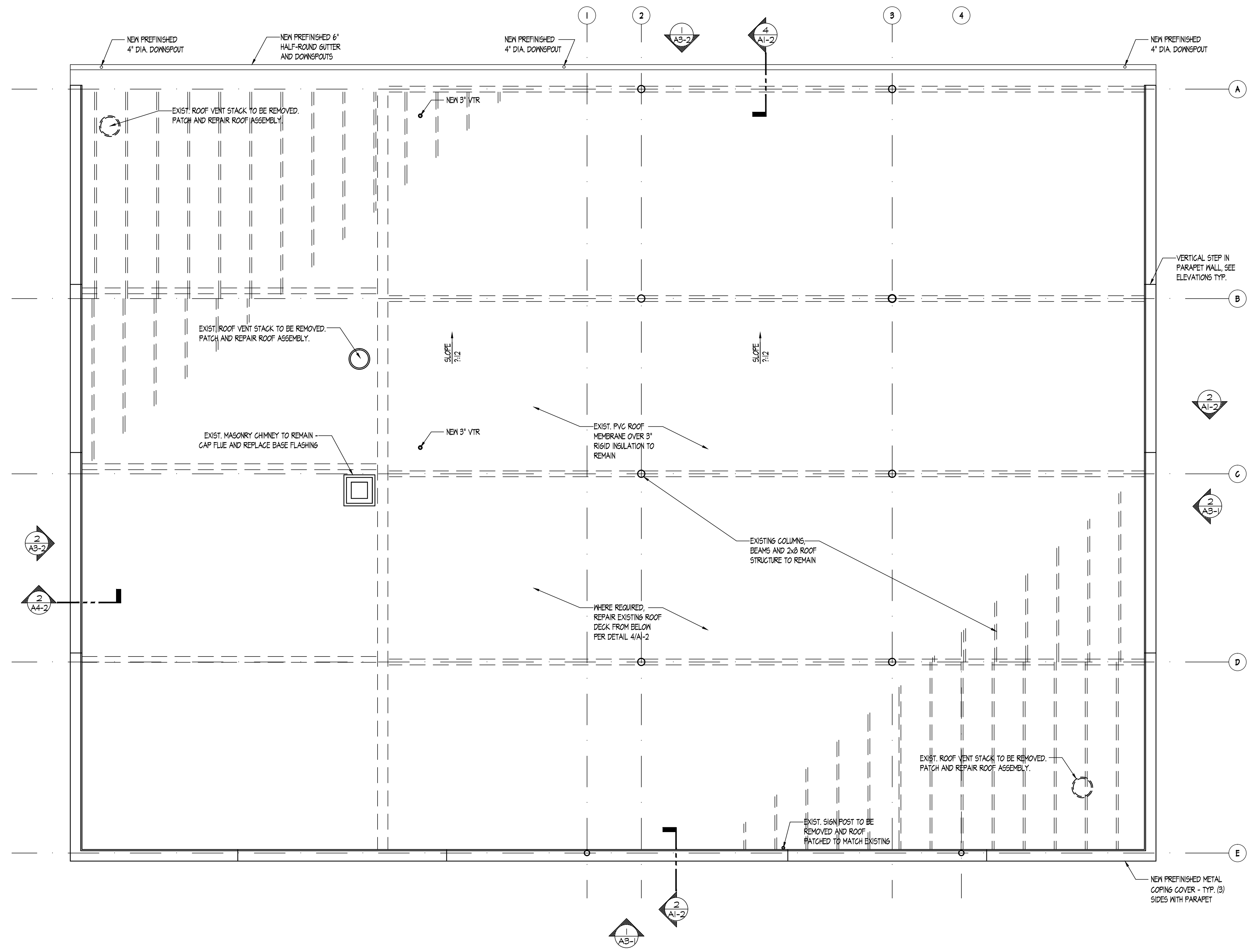
2 ROOF DETAIL - AT PARAPET
 A1-2 SCALE: 1 1/2" = 1'-0"



3 ROOF DETAIL - AT GUTTER
 A1-2 SCALE: 1 1/2" = 1'-0"



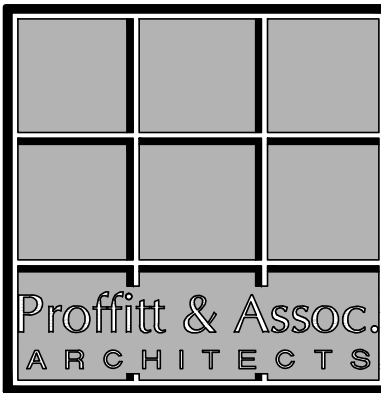
4 ROOF DETAIL - AT DECK REPAIR
 A1-2 SCALE: 1 1/2" = 1'-0"



1 ROOF PLAN
 A1-2 SCALE: 1/4" = 1'-0"

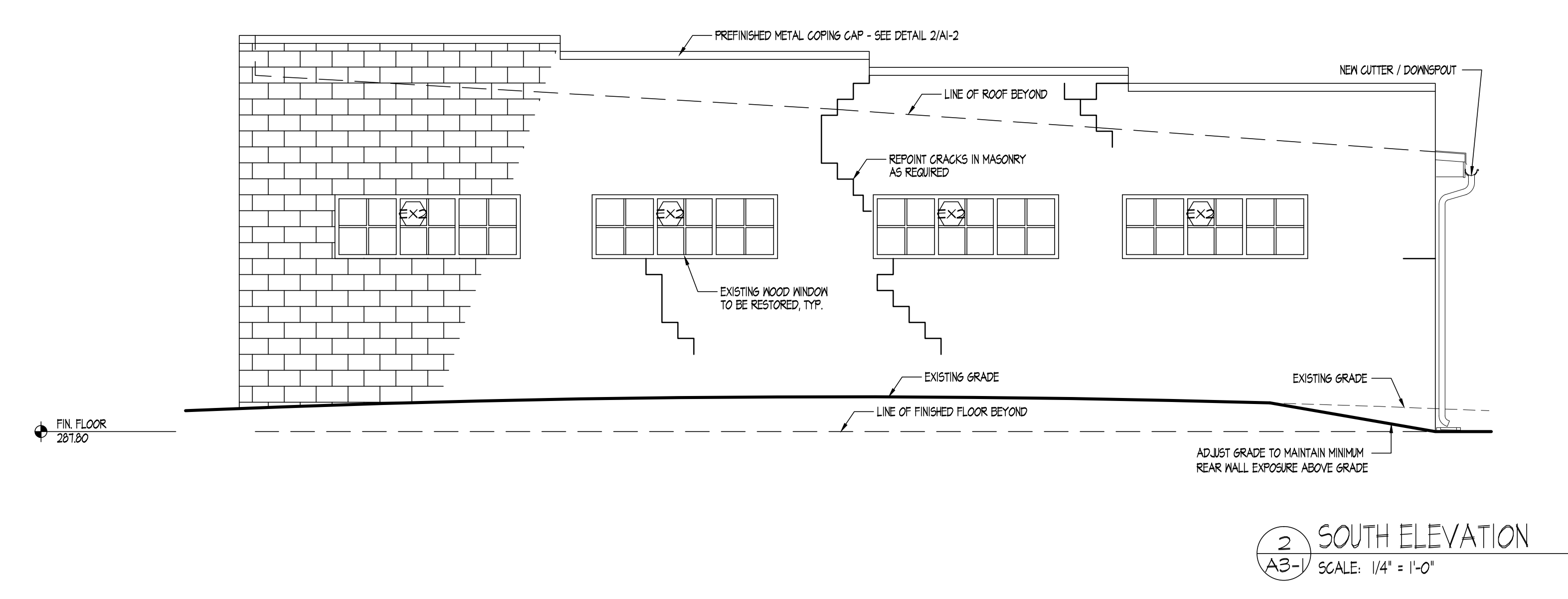
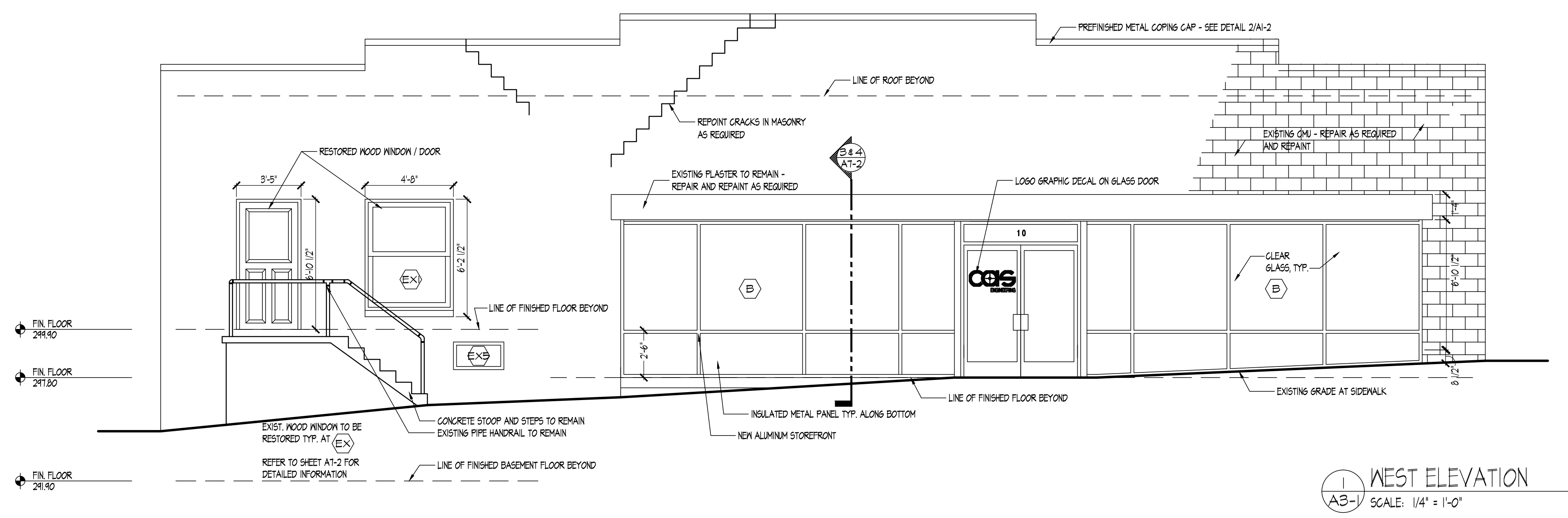


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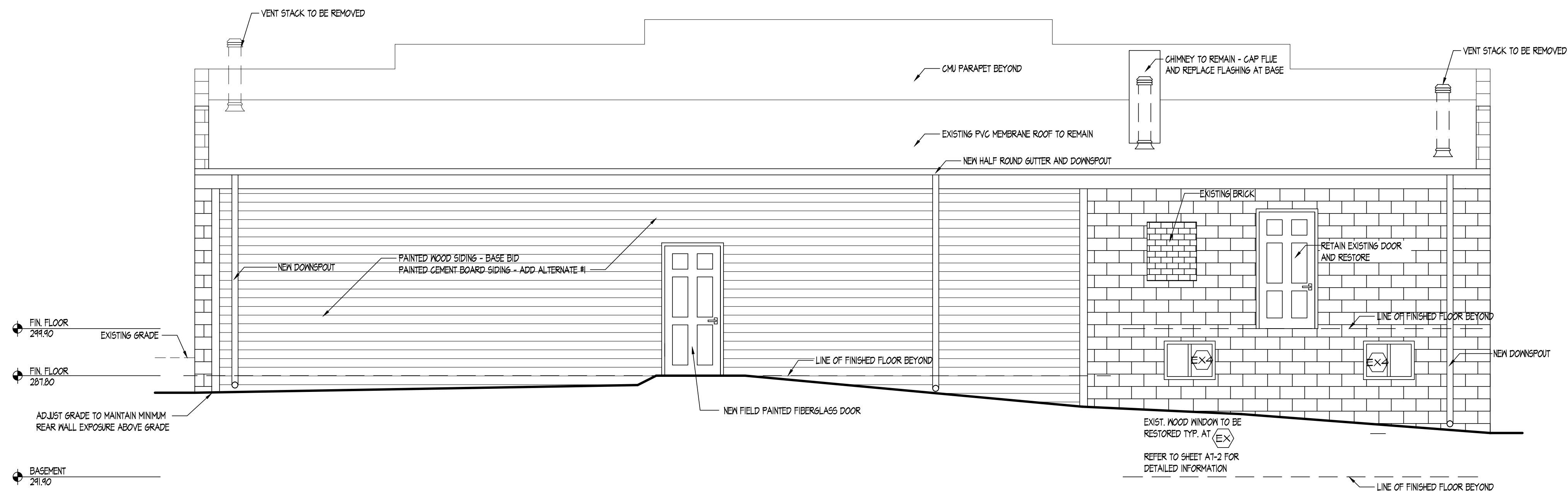


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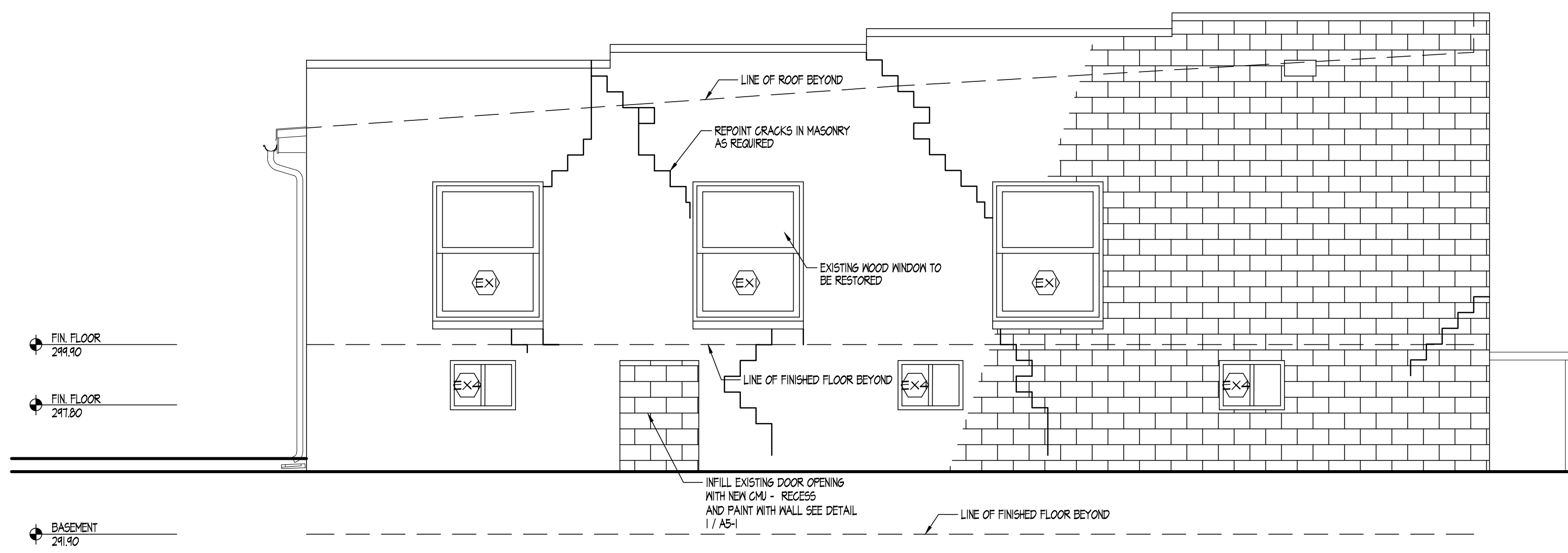
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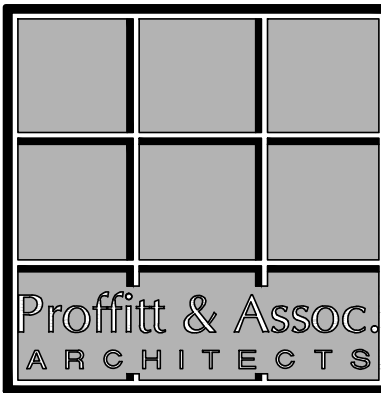
PROPOSED ELEVATIONS
A3-1



1 EAST ELEVATION
A3-2 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A3-2 SCALE: 1/4" = 1'-0"



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PROPOSED ELEVATIONS
A3-2

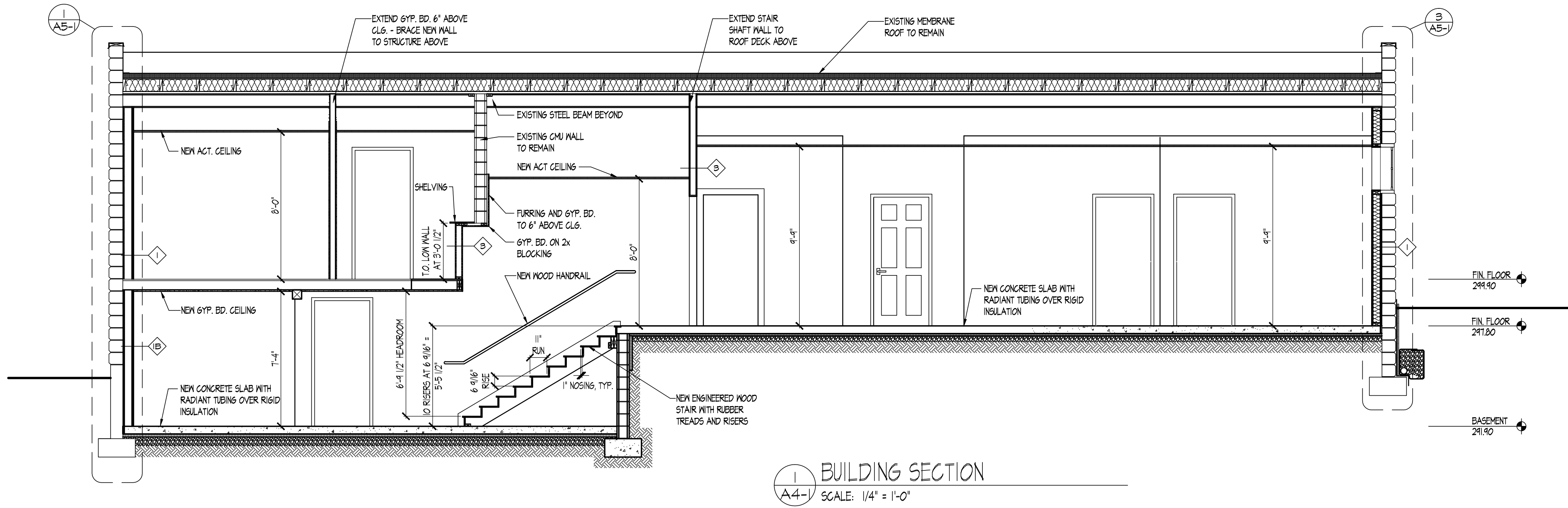
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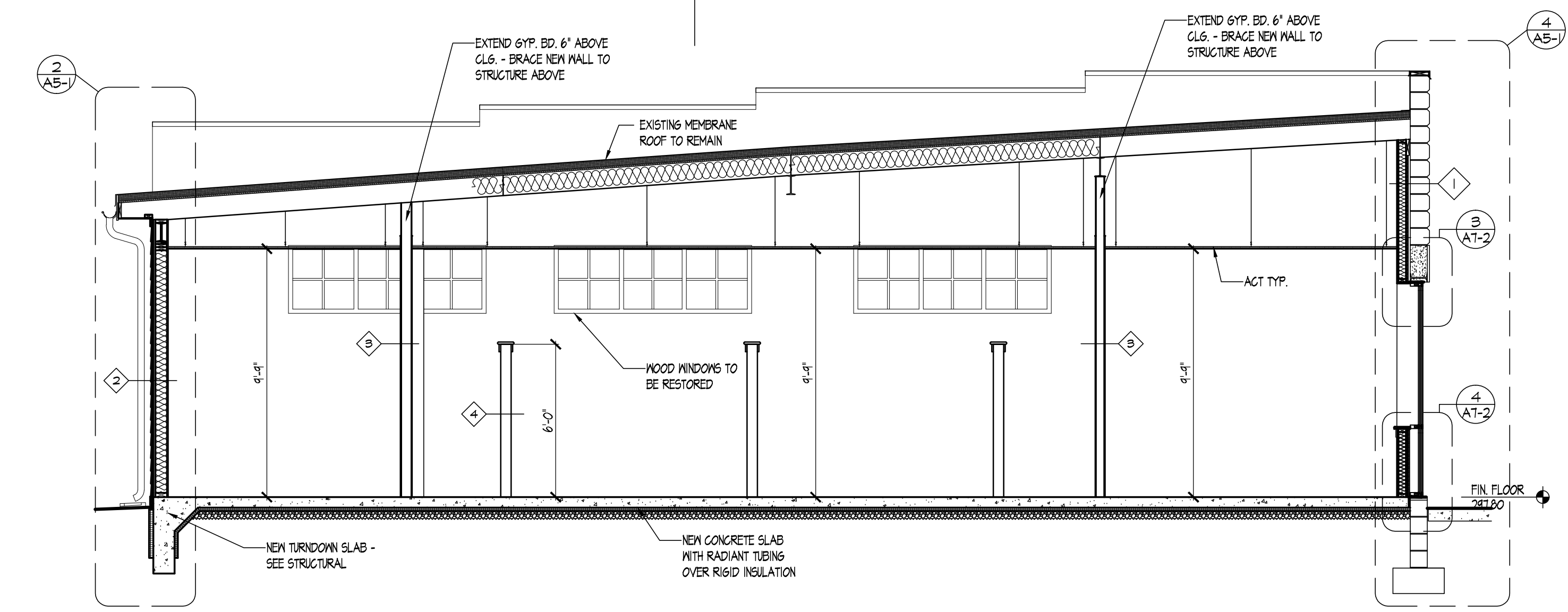
PROJECT NO.: 11-13
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PROPOSED SECTIONS

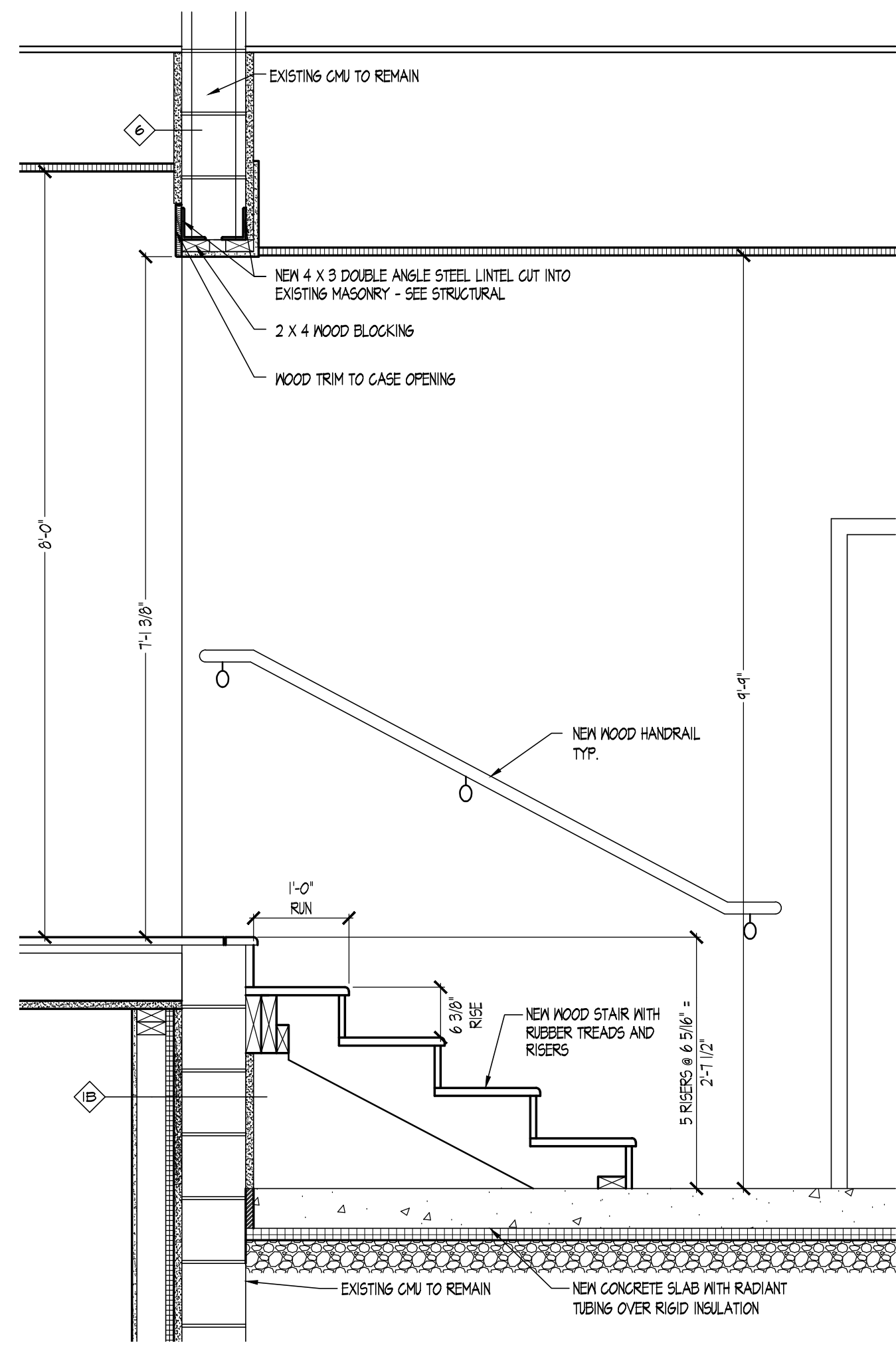
A4-1



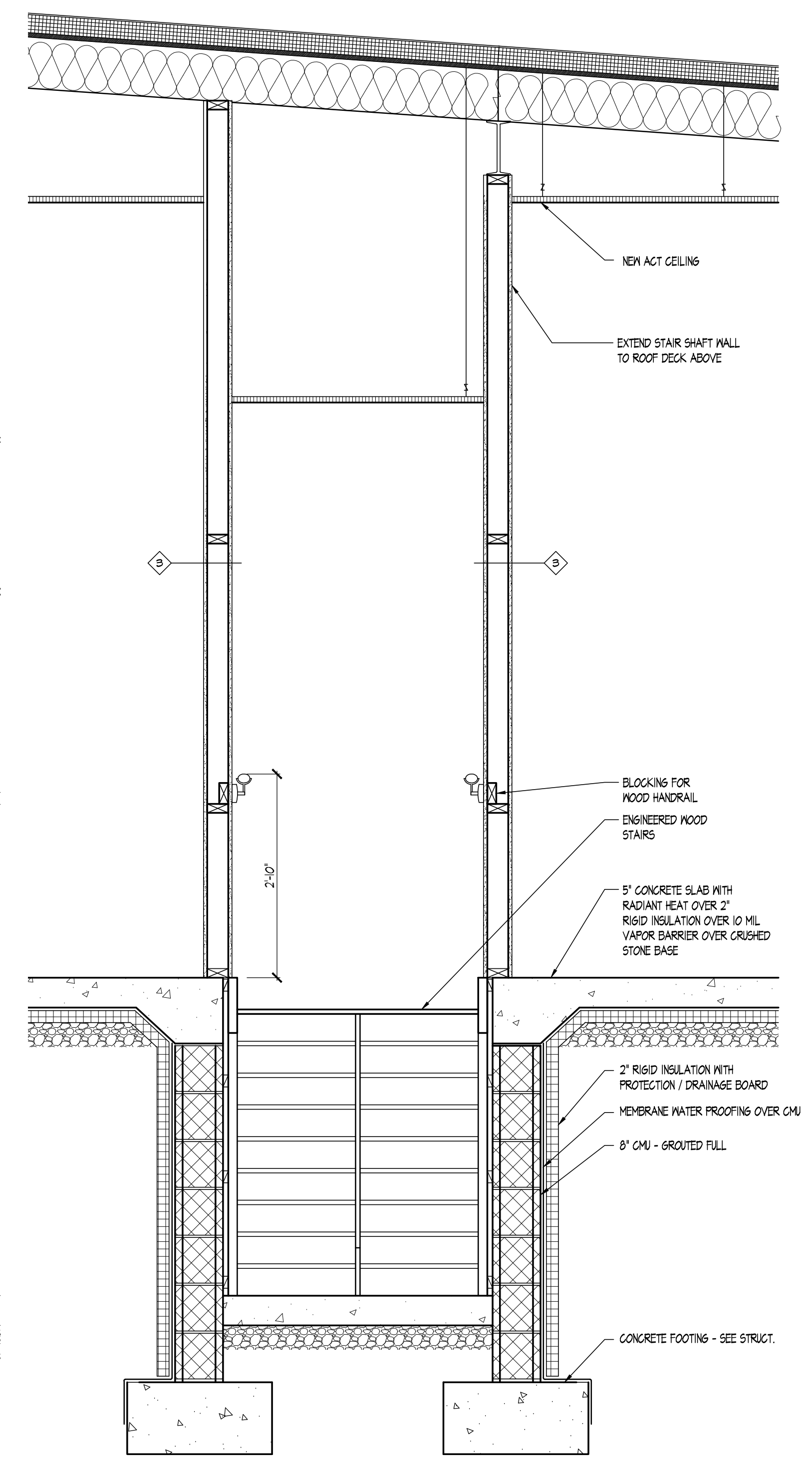
1 BUILDING SECTION
A4-1 SCALE: 1/4" = 1'-0"



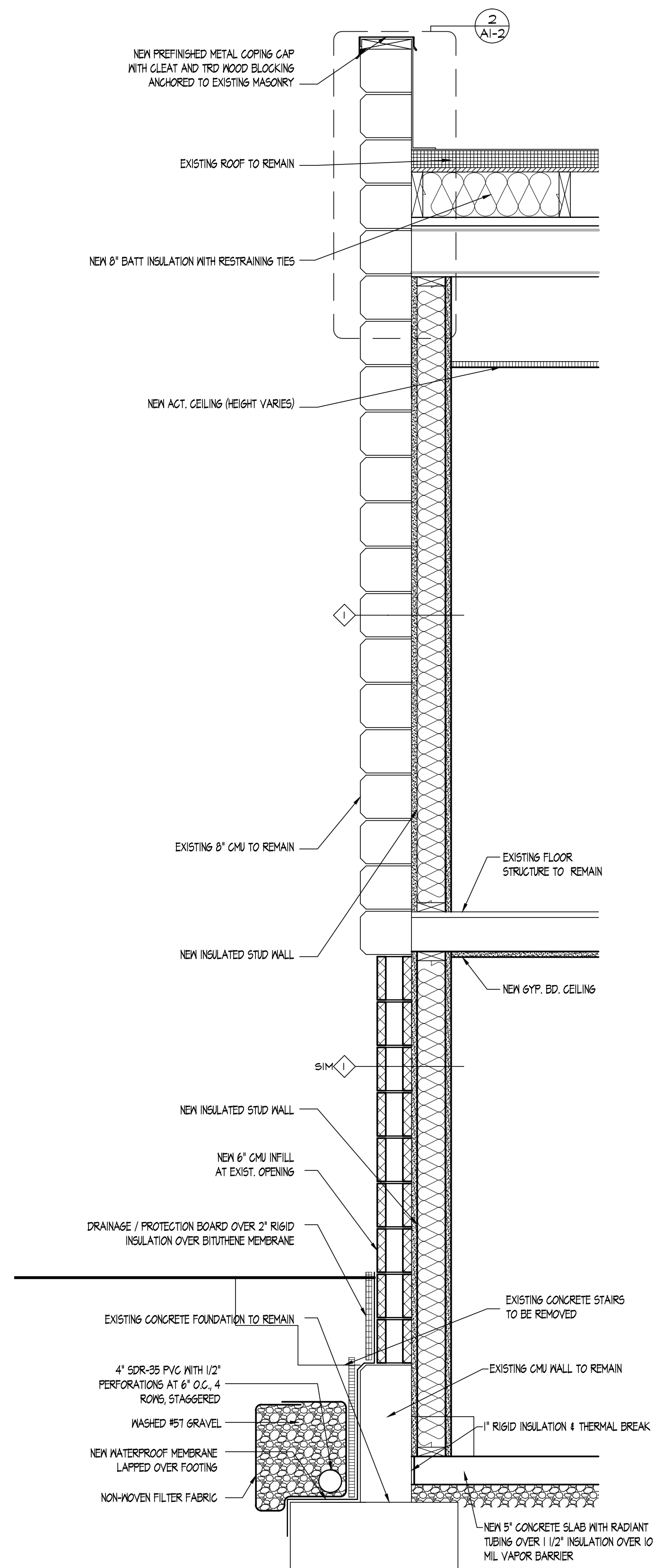
2 BUILDING SECTION
A4-1 SCALE: 1/4" = 1'-0"



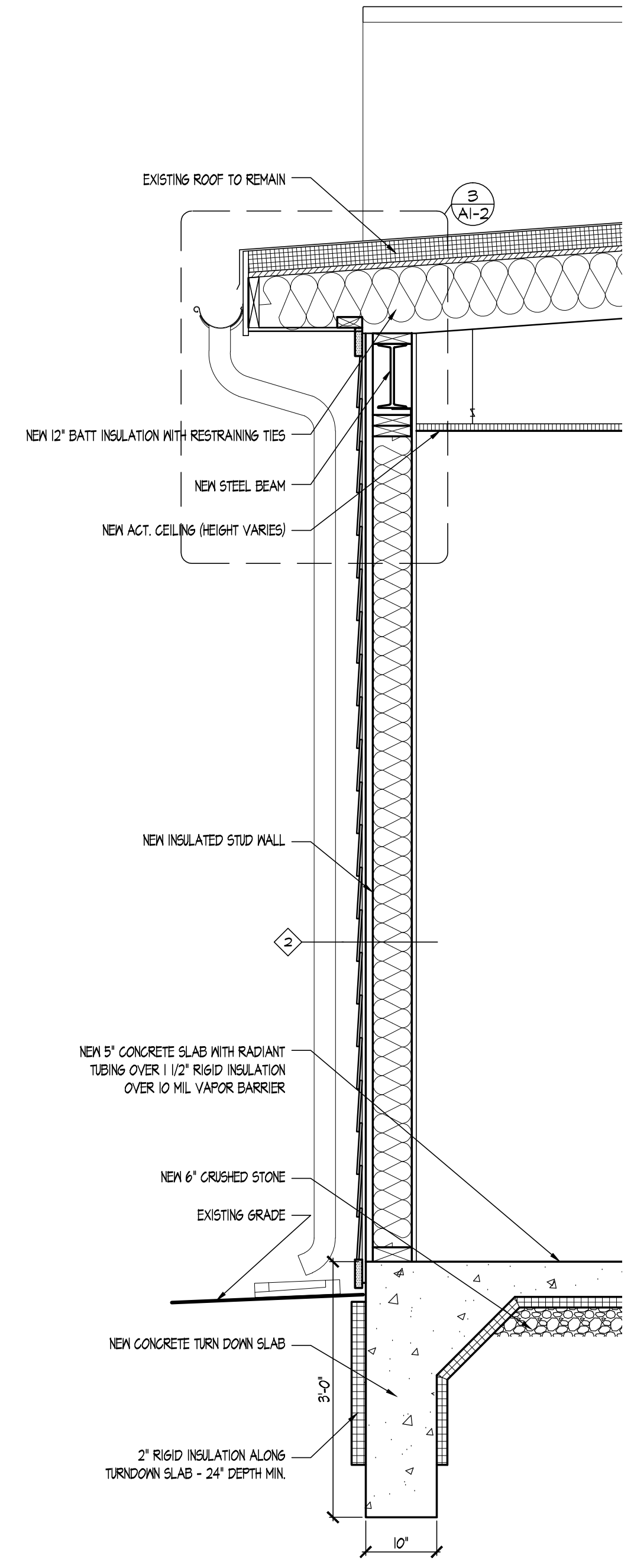
3 STAIR / FOUNDATION WALL SECTION
A4-1 SCALE: 3/4" = 1'-0"



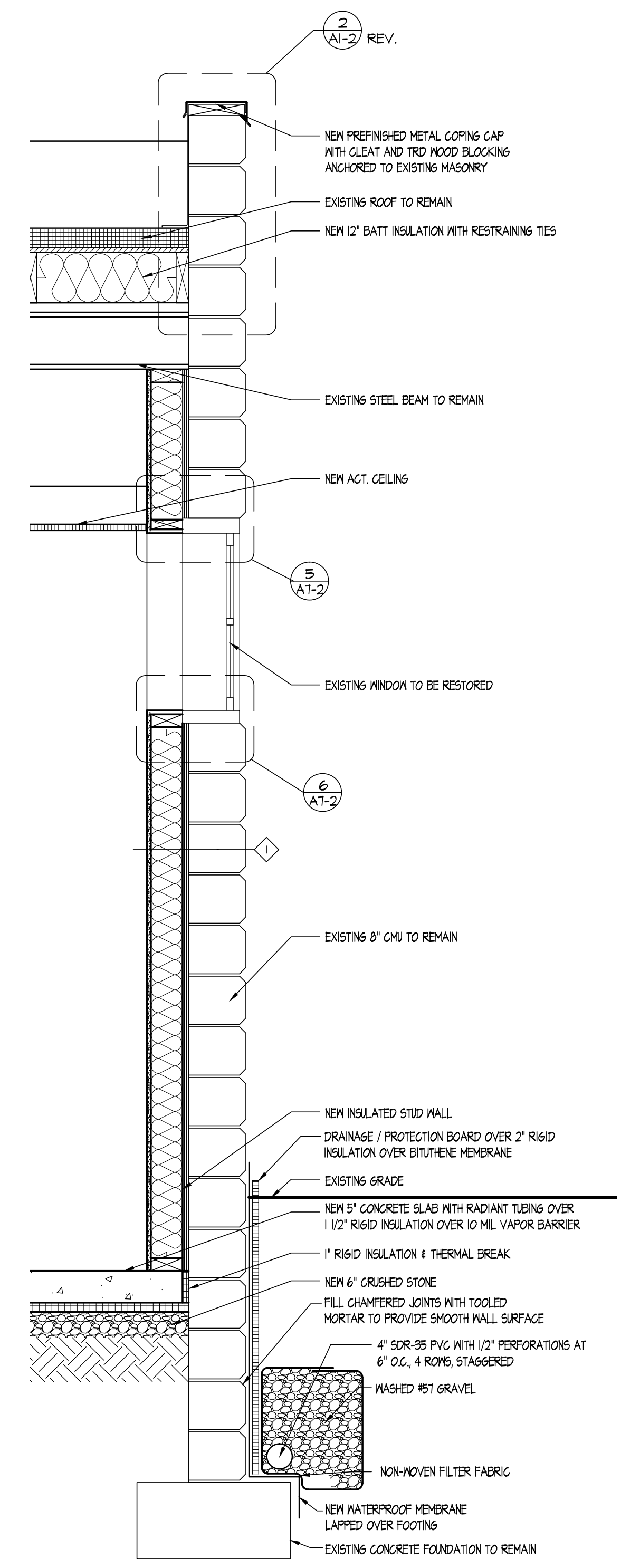
4 STAIR / FOUNDATION WALL SECTION
A4-1 SCALE: 3/4" = 1'-0"



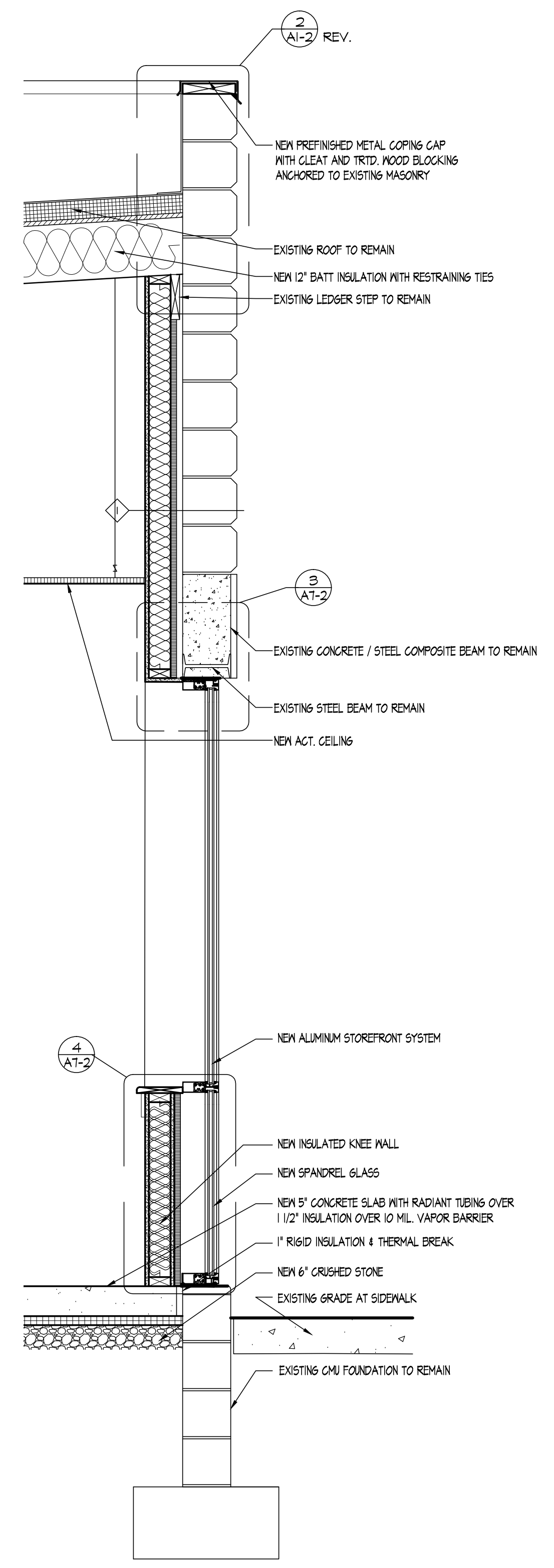
1 NORTH WALL SECTION
A5-1 SCALE: 3/4" = 1'-0"



2 EAST WALL SECTION
A5-1 SCALE: 3/4" = 1'-0"



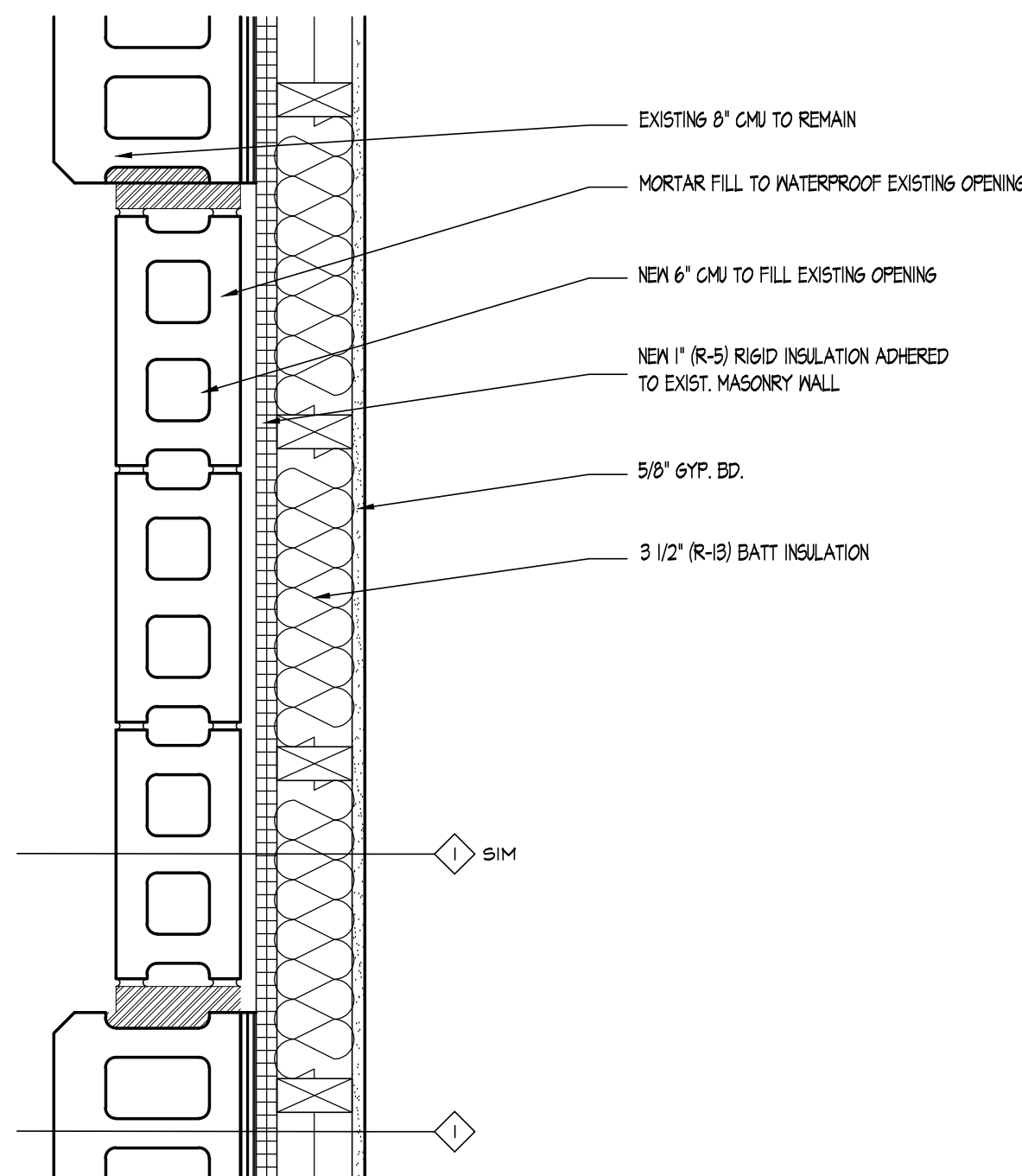
3 SOUTH WALL SECTION
A5-1 SCALE: 3/4" = 1'-0"



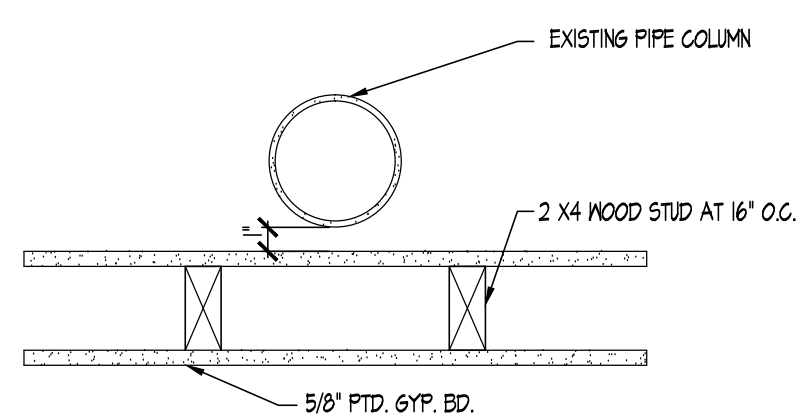
4 WEST WALL SECTION
A5-1 SCALE: 3/4" = 1'-0"

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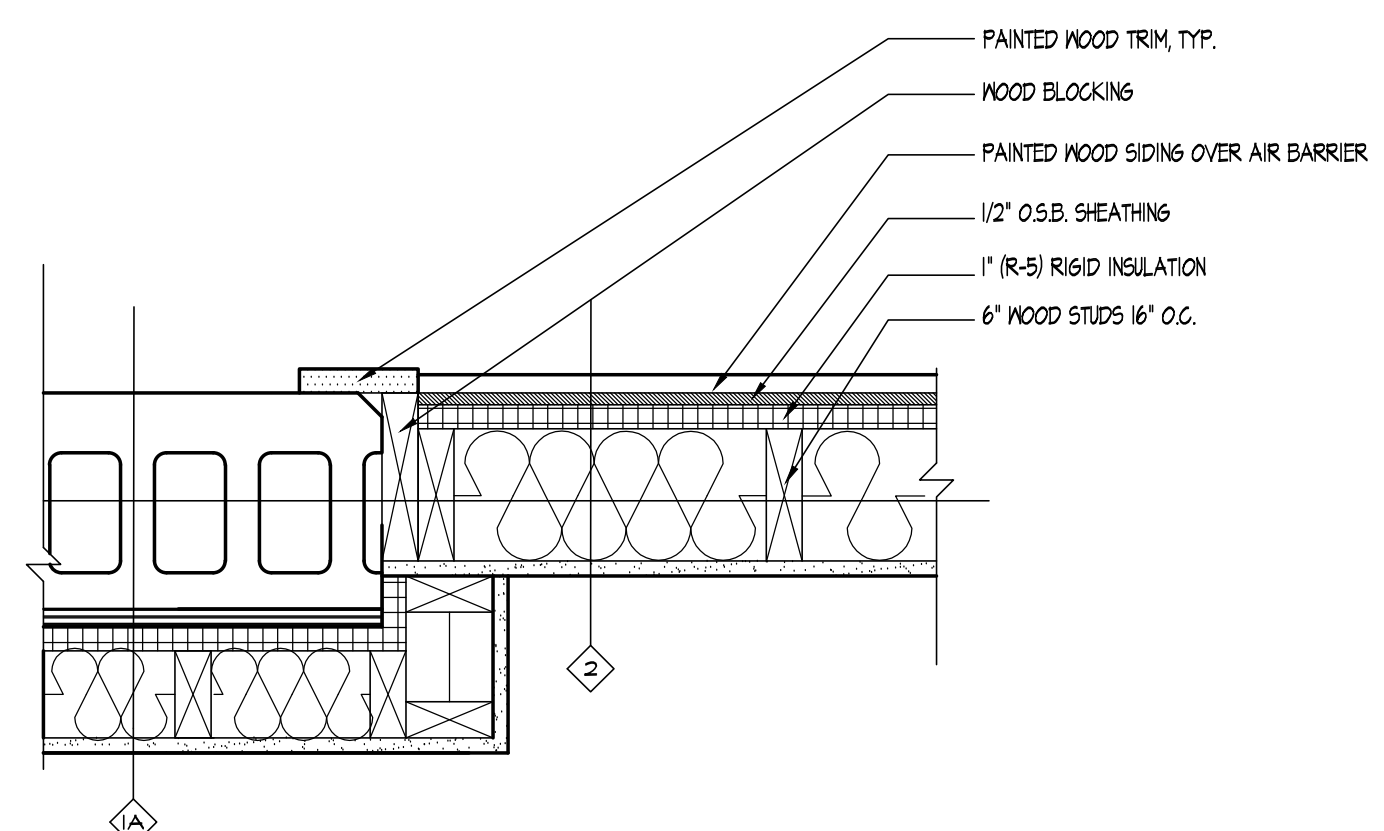
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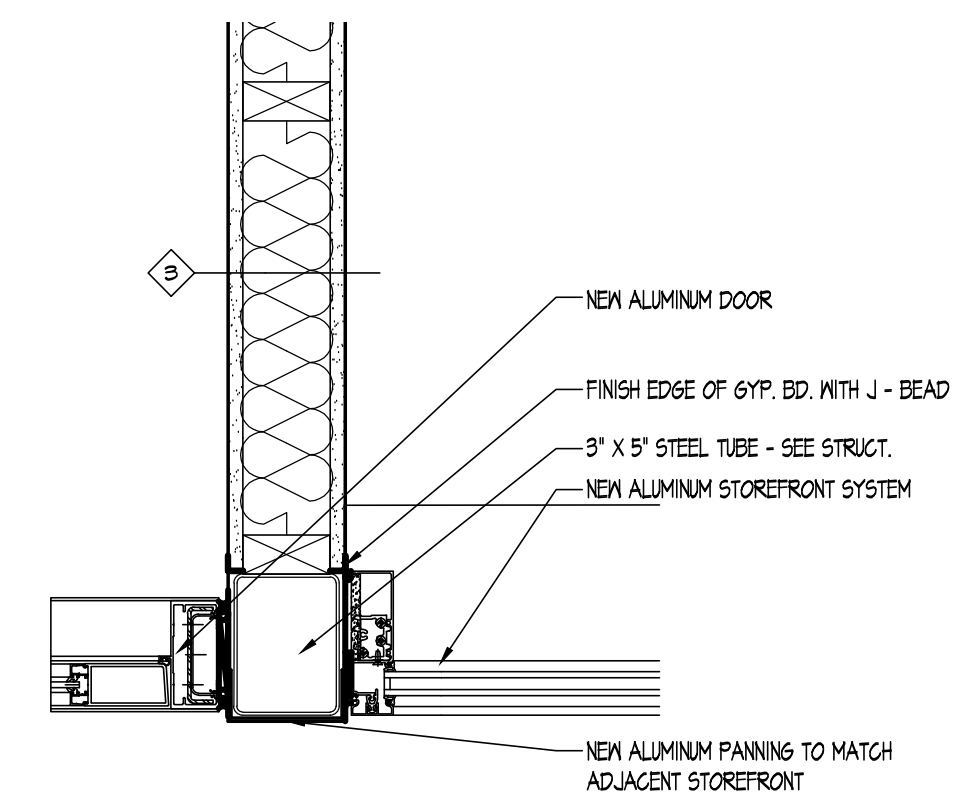
1 EXISTING OPENING INFILL DETAIL
A5-2 SCALE: 1/2" = 1'-0"



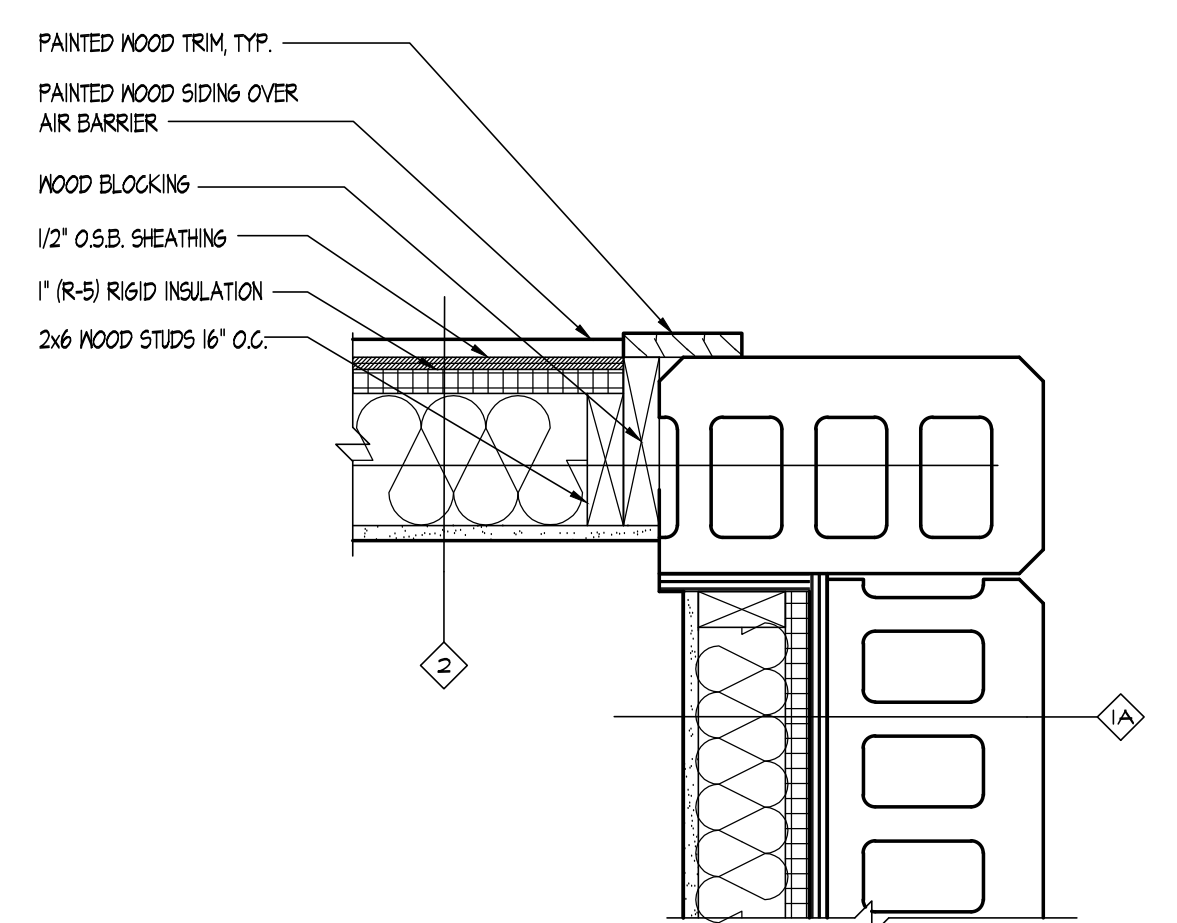
4 COLUMN / WALL DETAIL
A5-2 SCALE: 1/2" = 1'-0"



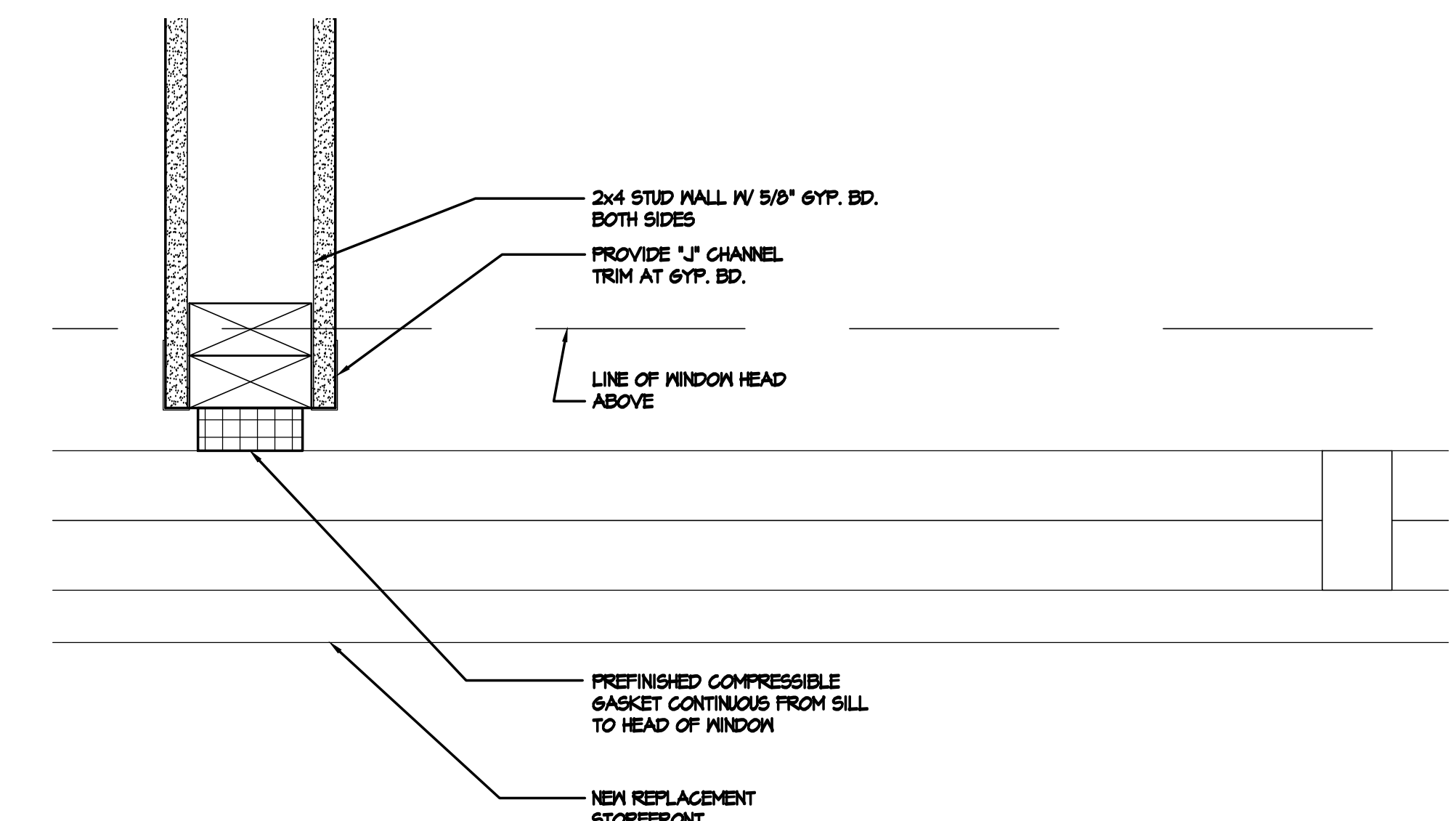
2 REAR WALL DETAIL
A5-2 SCALE: 1/2" = 1'-0"



5 STOREFRONT DOOR JAMB DETAIL
A5-2 SCALE: 1/2" = 1'-0"



3 REAR WALL DETAIL
A5-2 SCALE: 1/2" = 1'-0"



6 PARTITION AT WINDOW PLAN DETAIL
A5-2 SCALE: 3" = 1'-0"



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PROJECT NO.: 11-13
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PLAN DETAILS
A5-2

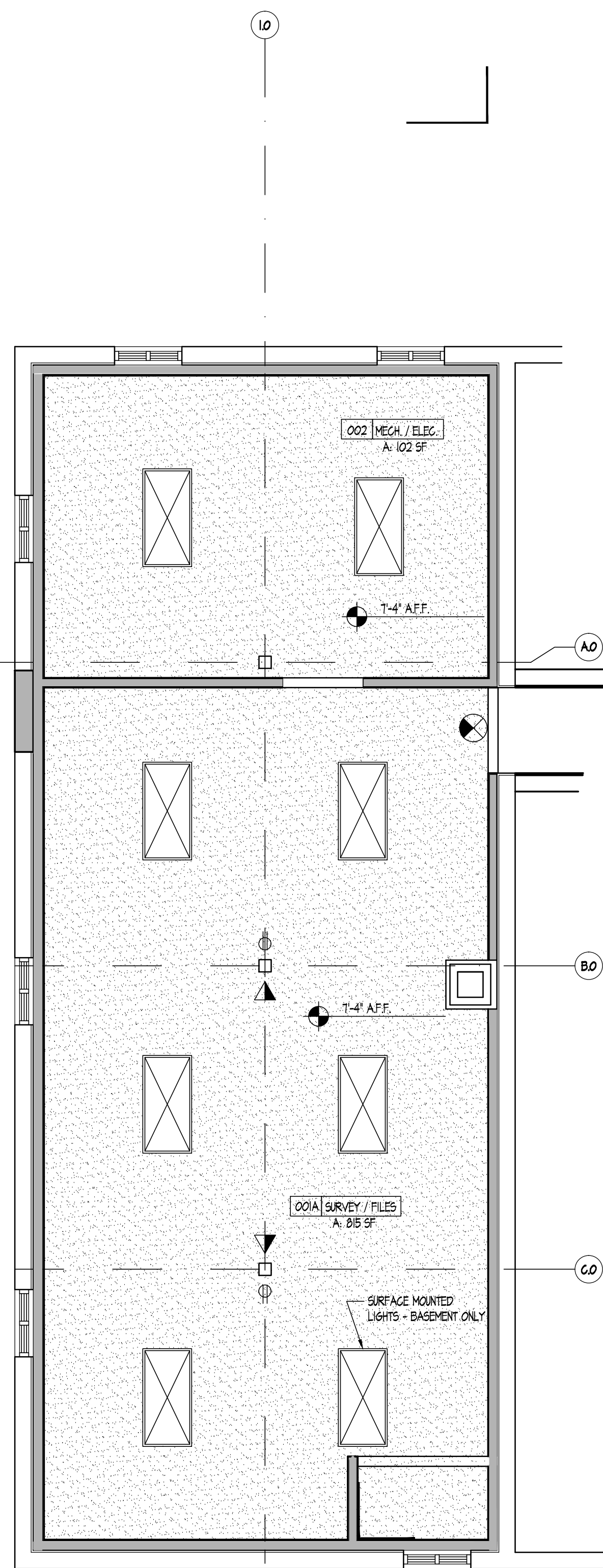
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PROJECT NO: 11-13
DATE: 3-7-2014

REFLECTED
CEILING PLAN

A6-1



2 REFLECTED CEILING PLAN - BASEMENT
A6-1 SCALE: 1/4" = 1'-0"

TRUE NORTH PLAN NORTH



CEILING PLAN LEGEND:

- TWIN TB 8' FLUORESCENT - BOTTOM OF FIXTURE MOUNTED @ 13'-0" AFF.
- TB 4' FLUORESCENT - BOTTOM OF FIXTURE MOUNTED @ 13'-0" AFF.
- 2x4 FLUORESCENT FIXTURE (LAY-IN WITH ACRYLIC LENS)
- EXHAUST FAN
- EMERGENCY EXIT SIGN (ILLUMINATED) W/ BATTERY BACK-UP
- EMERGENCY LIGHT W/ BATTERY BACK-UP

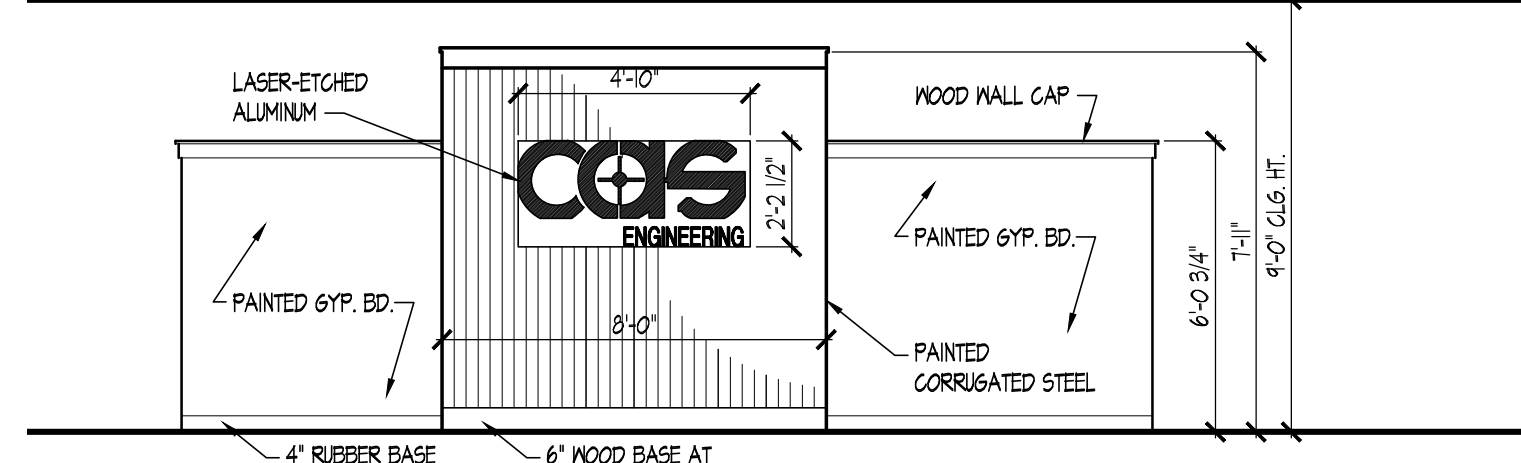
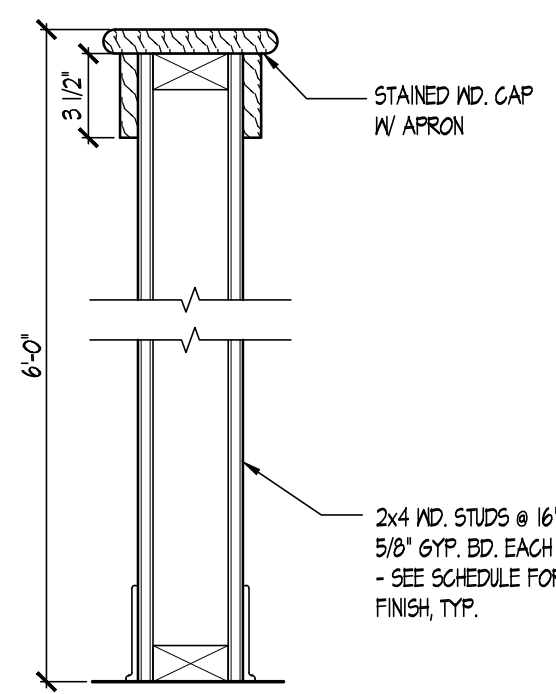
1 REFLECTED CEILING PLAN - FIRST FLOOR PLAN
A6-1 SCALE: 1/4" = 1'-0"

TRUE NORTH PLAN NORTH

| ROOM FINISH SCHEDULE | | | | | | | | | | | | | | |
|----------------------|----------------|------------------|------|----------------|--------|-----------|--------|------------|--------|----------------|--------|----------|--------|---------|
| ROOM NUMBER | ROOM NAME | FLOOR | BASE | WALLS | | | | | | | | CEILING | | REMARKS |
| | | | | NORTH | | SOUTH | | EAST | | WEST | | MATERIAL | HEIGHT | |
| | | | | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH | | | |
| 001 A | SURVEY / FILES | CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | - | - | GYP. BD. | PTD | GYP. BD. | 1'-4" | |
| 001 B | CUSTODIAL | CONC. | RB | FRP & GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | FRP & GYP. BD. | PTD | GYP. BD. | 1'-4" | |
| 002 | MECH / ELECT. | CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | 1'-4" | |
| 100 | ENTRY | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | - | - | STOREFRONT | - | ACT | 9'-4" | |
| 100A | CORRIDOR | STND. CONC. | RB | - | - | - | - | CORR. MTL. | PTD | - | - | ACT | 9'-4" | |
| 100 B | CORRIDOR | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | - | - | ACT | 9'-4" | |
| 100 C | STAIR | RUB./STND. CONC. | RB | GYP. BD. | PTD | - | - | GYP. BD. | PTD | GYP. BD. | PTD | ACT. | VARIES | |
| 100 D | STAIR | RUB./STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | - | - | - | - | ACT | VARIES | |
| 101 | OPEN AREA | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 9'-4" | |
| 102 | OFFICE | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | STOREFRONT | - | ACT | 9'-4" | |
| 103 | OFFICE | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 9'-4" | |
| 104 | OFFICE | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 9'-4" | |
| 105 | OFFICE | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 9'-4" | |
| 106 | BREAK ROOM | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 9'-4" | |
| 107 | BATHROOM | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 108 | BATHROOM | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 109 | OFFICE | STND. CONC. | RB | EX. WALL. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 9'-4" | |
| 110 | SECRETARY | STND. CONC. | RB | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | STOREFRONT | - | ACT | 9'-4" | |
| 200 | CORRIDOR | ENG. WD | WD | GYP. BD. | PTD | EX. WALL. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 201 | OFFICE | ENG. WD | WD | GYP. BD. | PTD | EX. WALL. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 202 | CONFERENCE | ENG. WD | WD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 203 | OFFICE | ENG. WD | WD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 204 | LIBRARY | ENG. WD | WD | GYP. BD. | PTD | EX. WALL. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 8'-0" | |
| 205 | OFFICE | ENG. WD | WD | GYP. BD. | PTD | EX. WALL. | PTD | GYP. BD. | PTD | GYP. BD. | PTD | ACT | 1'-6" | |

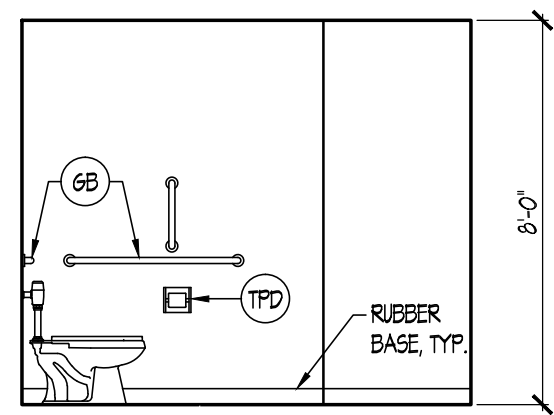
| FINISH LEGEND | |
|---------------|-----------------------|
| VCT | |
| CPT | |
| RB | |
| WD | ENGINEERED WOOD FLOOR |

| KEY | |
|-----|----------------------|
| VCT | VINYL COMPOSITE TILE |
| LT | LINOLEUM TILE |
| CPT | CARPET |
| RB | RUBBER BASE |
| RUB | RUBBER |

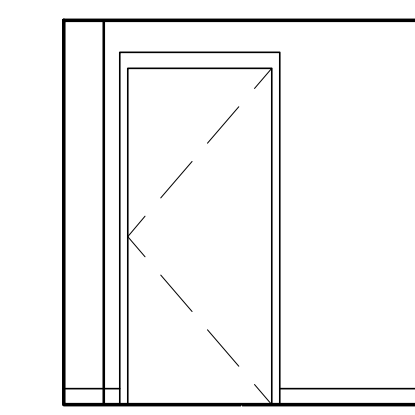


12 ENTRY CORRIDOR ELEVATION
AT-1 SCALE: 1/4" = 1'-0"

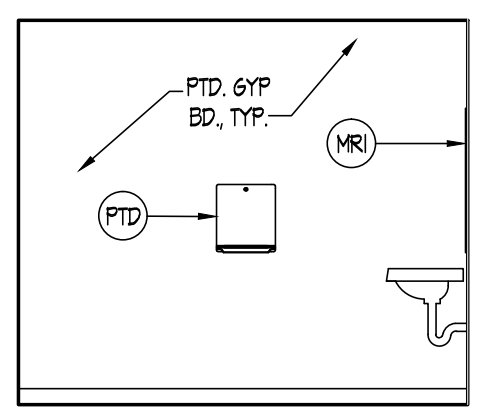
13 WOOD WALL CAP SECTION DETAIL
AT-1 SCALE: 1 1/2" = 1'-0"



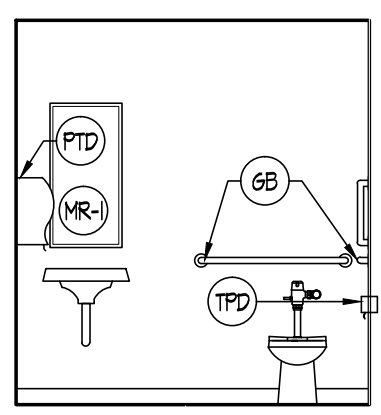
1 BATHROOM 107 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



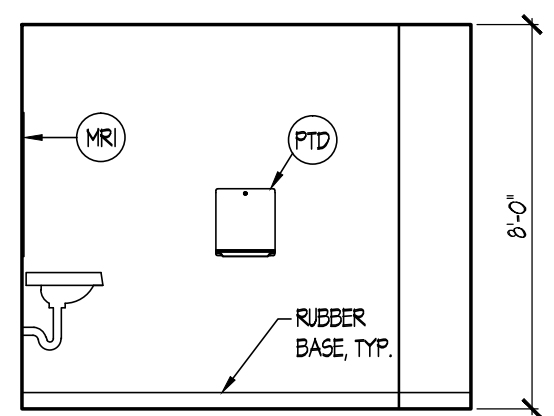
2 BATHROOM 107 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



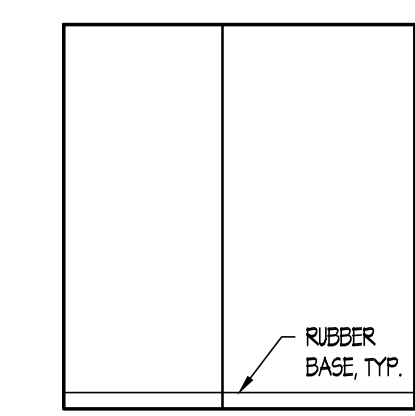
3 BATHROOM 107 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



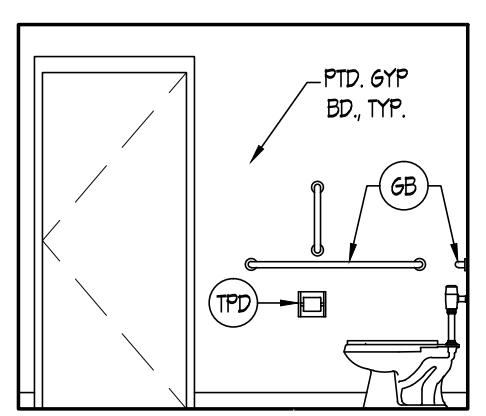
4 BATHROOM 107 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



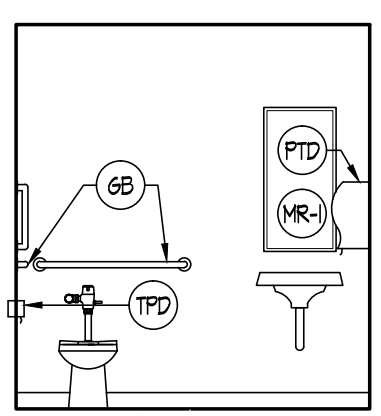
5 BATHROOM 108 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



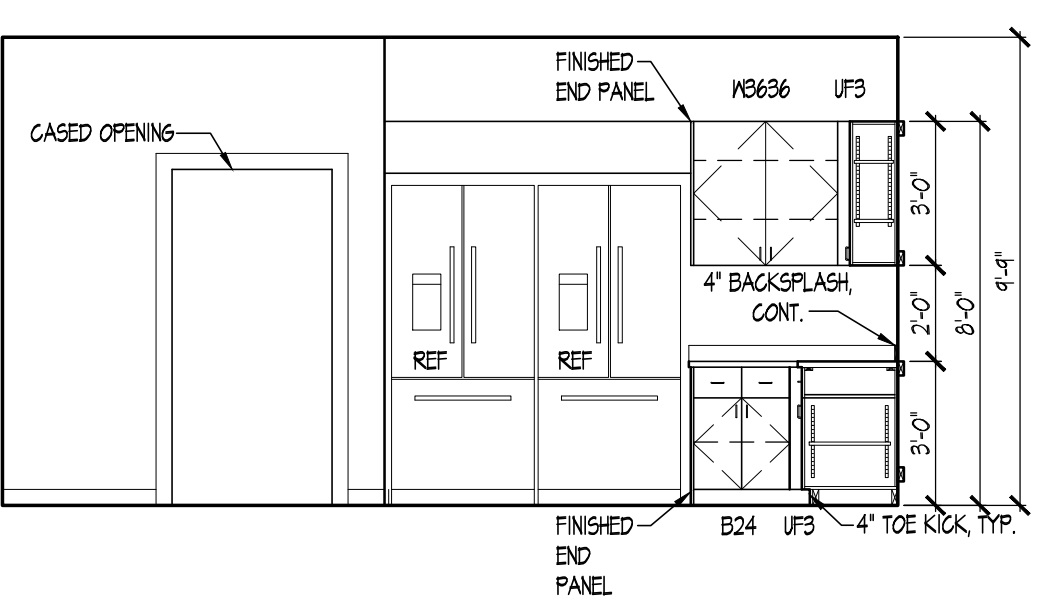
6 BATHROOM 108 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



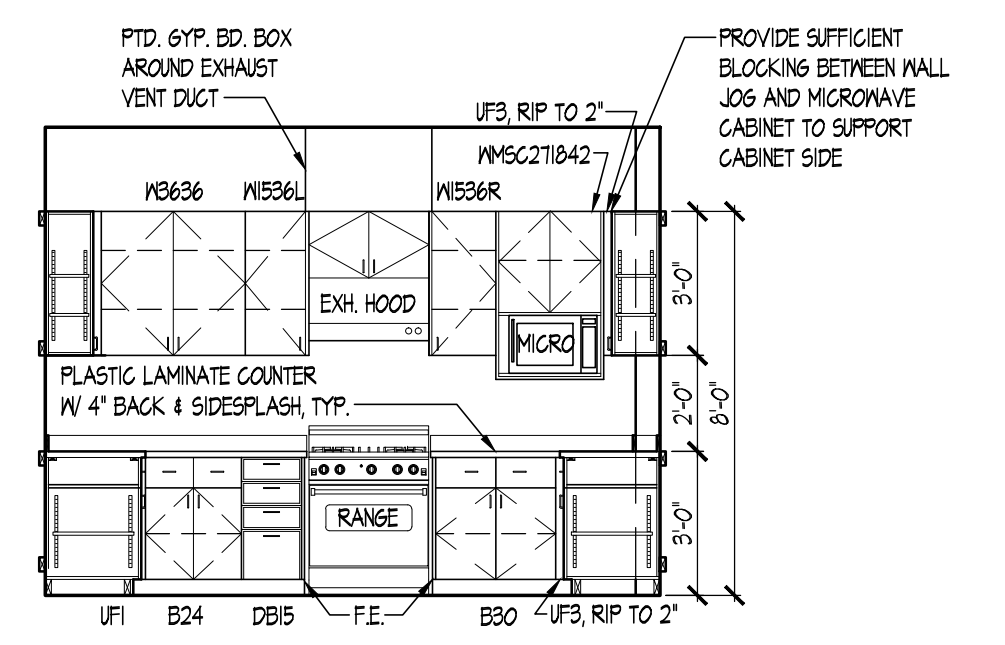
7 BATHROOM 108 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



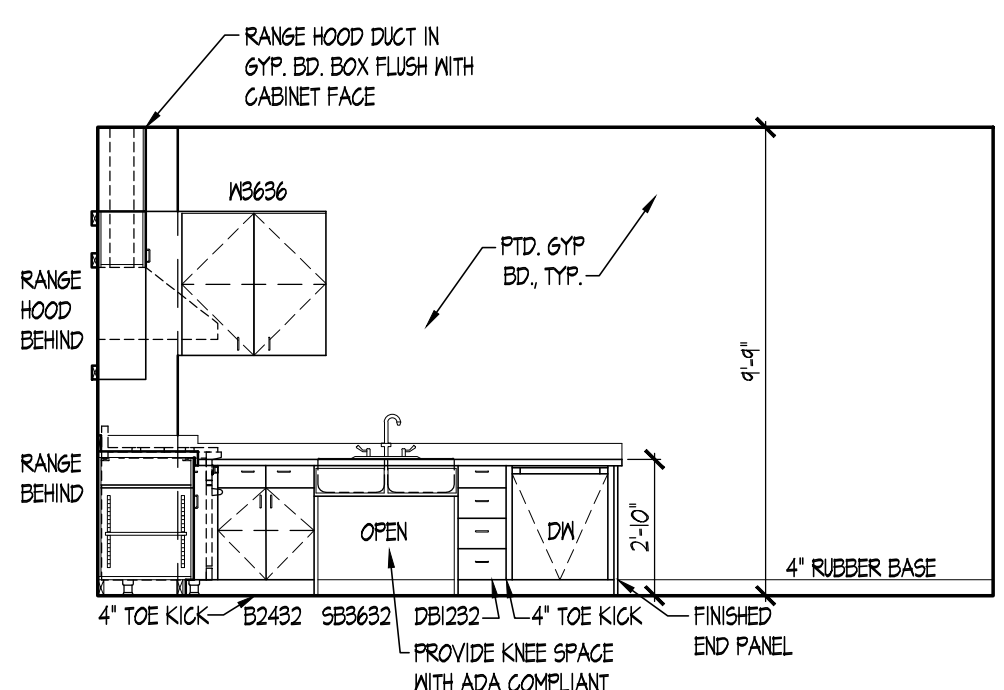
8 BATHROOM 108 ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



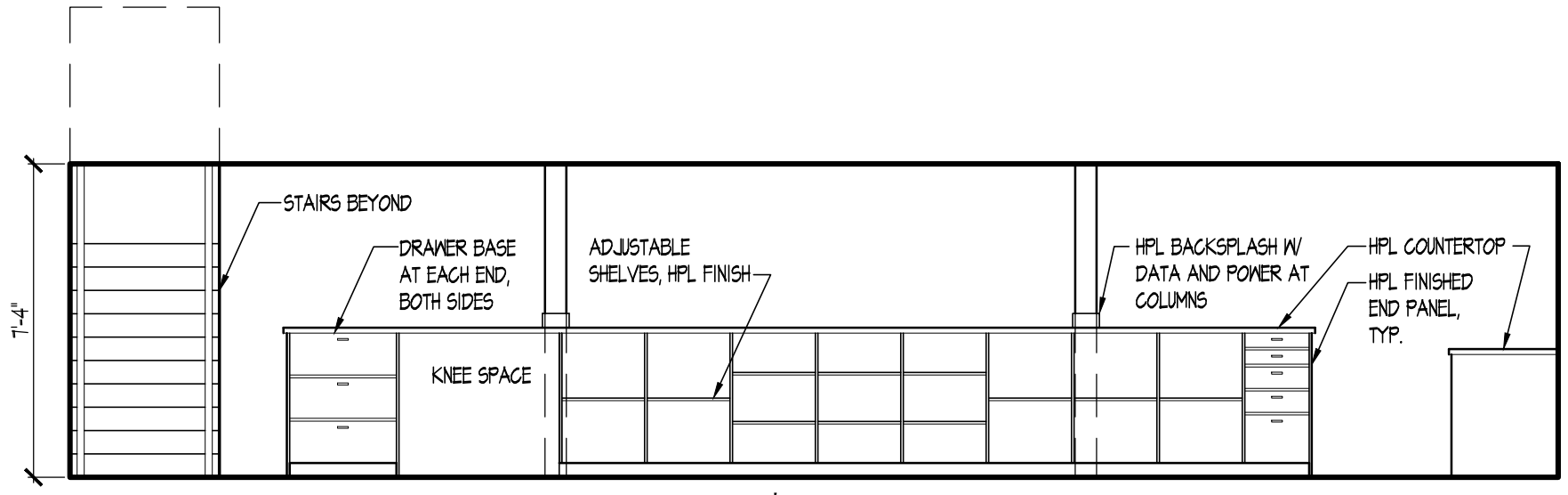
9 BREAK ROOM ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



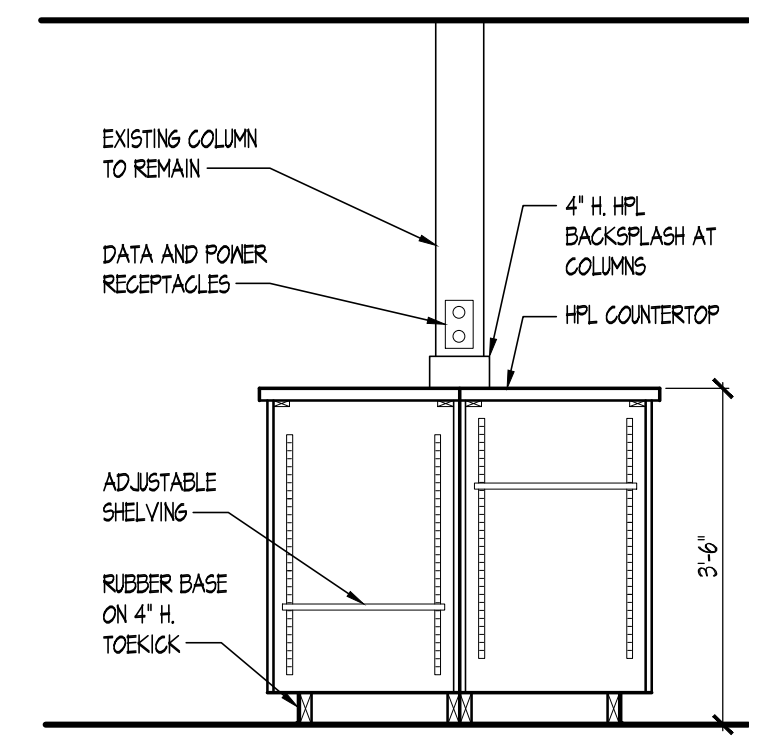
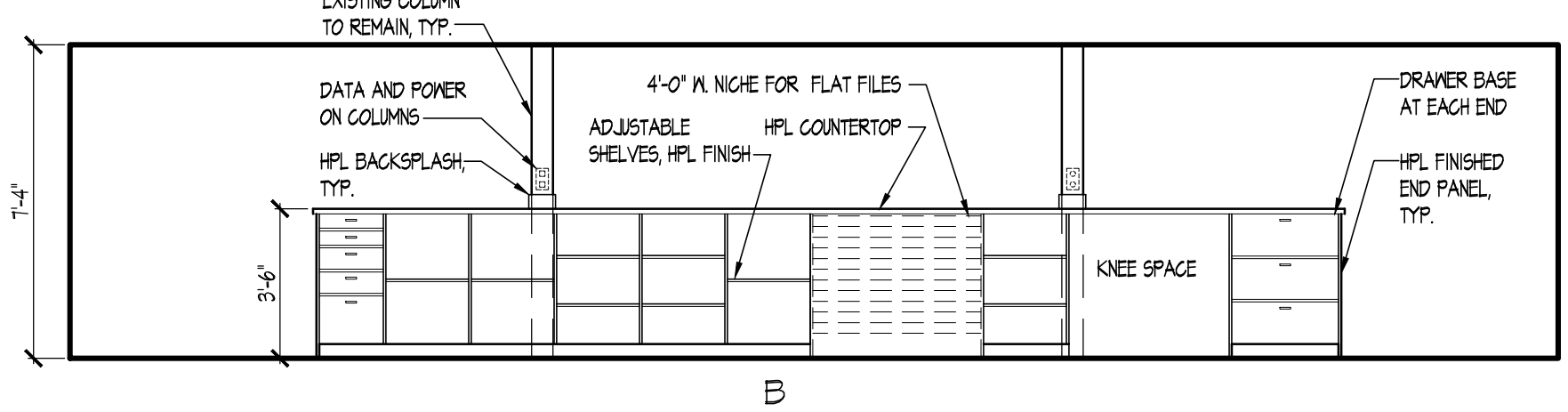
10 BREAK ROOM ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



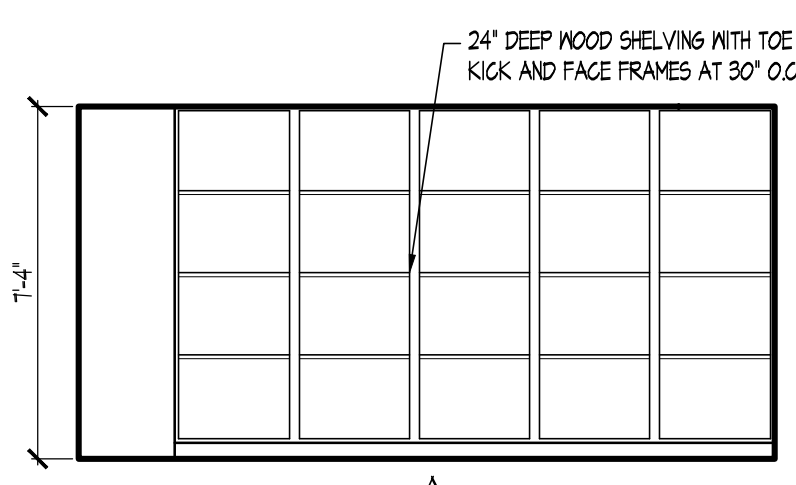
11 BREAK ROOM ELEVATION
AT-1 SCALE: 1/4" = 1'-0"



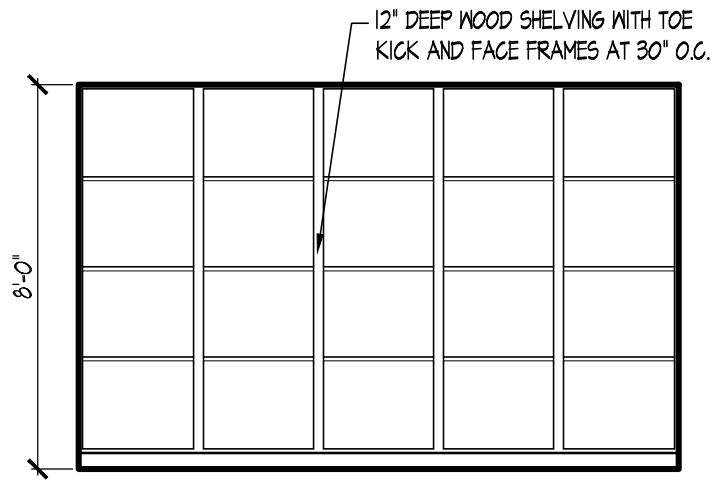
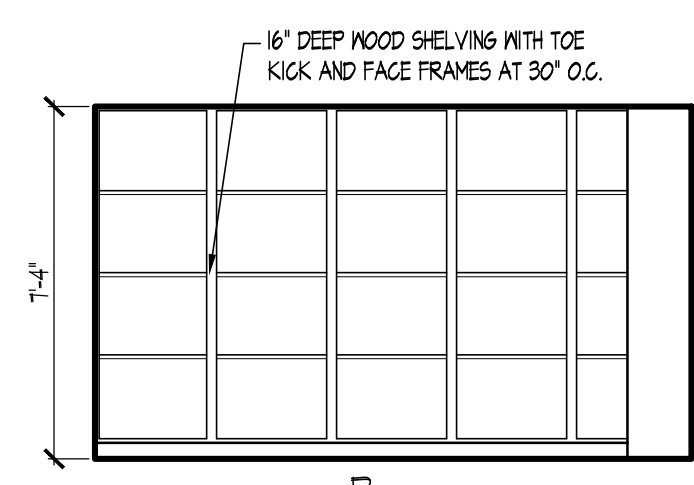
14 FILEROOM 001A ELEVATIONS
AT-1 SCALE: 1/4" = 1'-0"



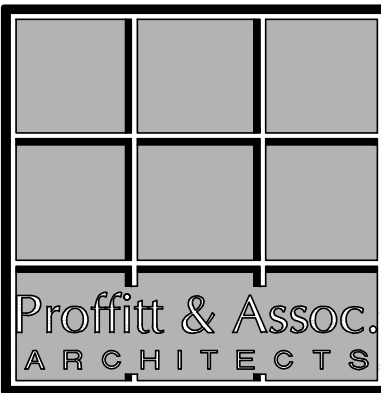
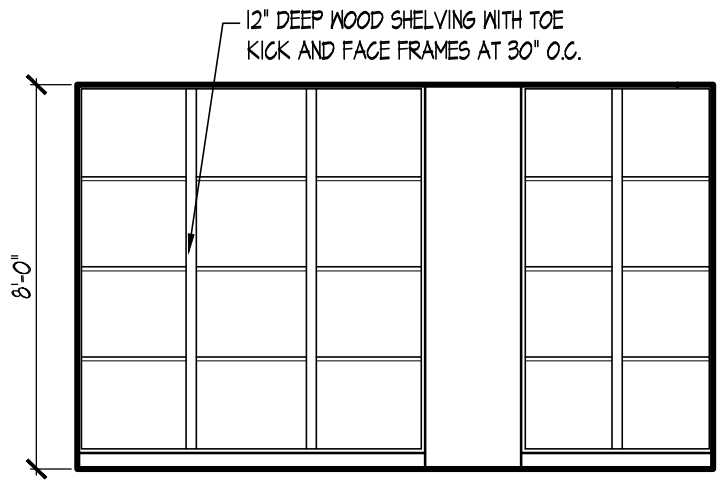
15 WORKTABLE SECTION
AT-1 SCALE: 1/2" = 1'-0"



16 SURVEY/FILES 001B ELEVATIONS
AT-1 SCALE: 1/4" = 1'-0"



17 LIBRARY 204 ELEVATIONS
AT-1 SCALE: 1/4" = 1'-0"



100 NORTH MARKET STREET
FREDERICK, MARYLAND 21701
(301) 662-8532
FAX (301) 662-4192
info@proffittandassociates.com

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND I AM AN ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 5289-A
EXPIRATION DATE 05-25-15

RENOVATIONS TO
10 SOUTH BENTZ STREET
FOR CAS ENGINEERING
10 SOUTH BENTZ STREET
FREDERICK, MARYLAND 21701
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| ISSUE | |
|--------|-------------------|
| REV | DESCRIPTION |
| 4/8/14 | BD SET SUBMISSION |

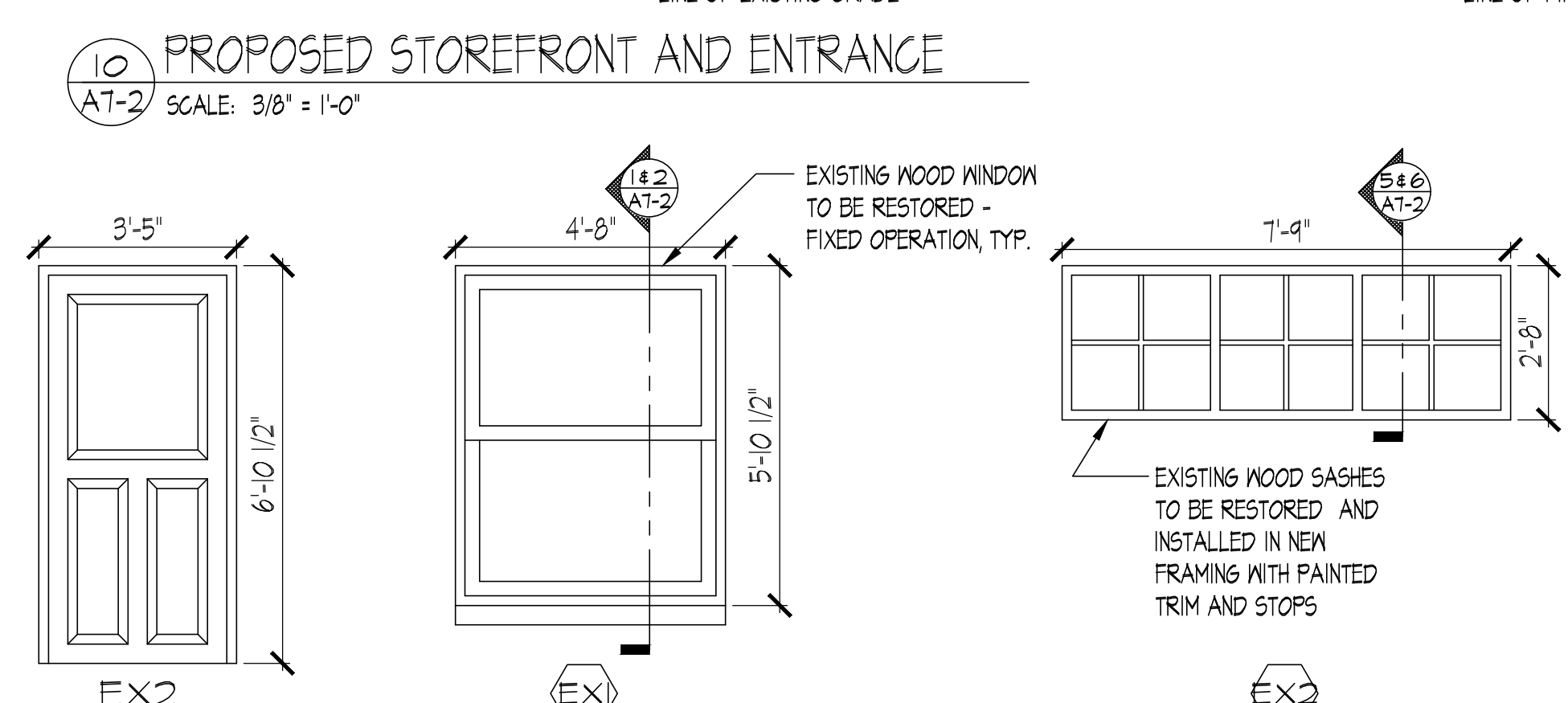
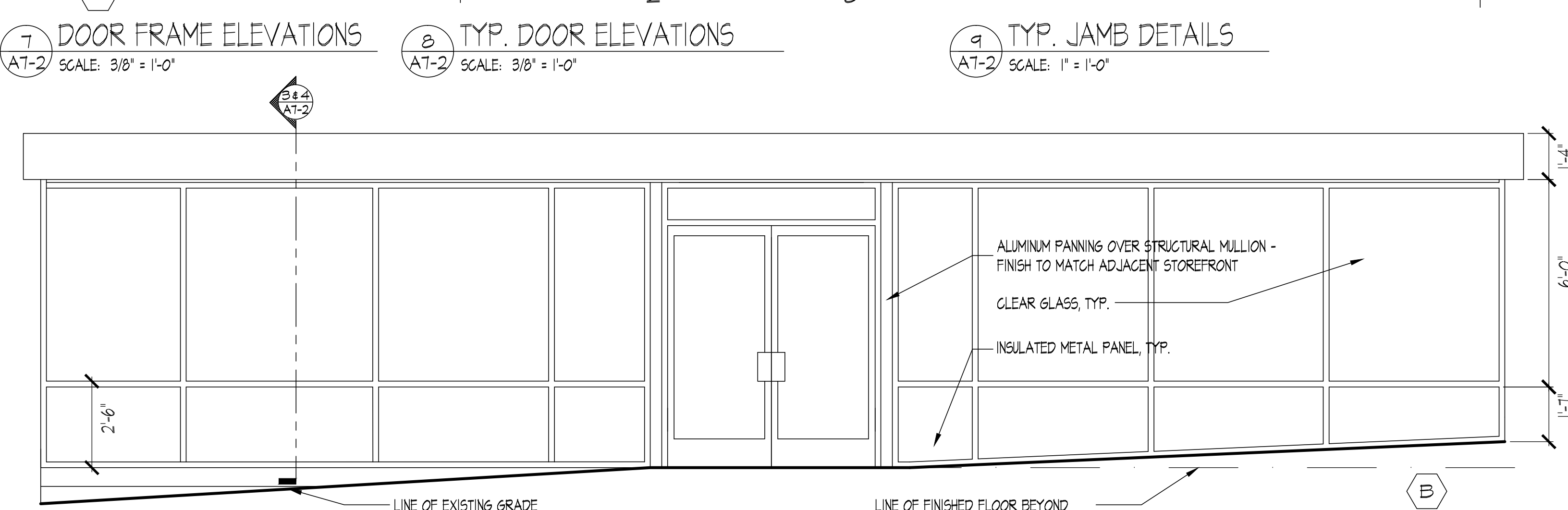
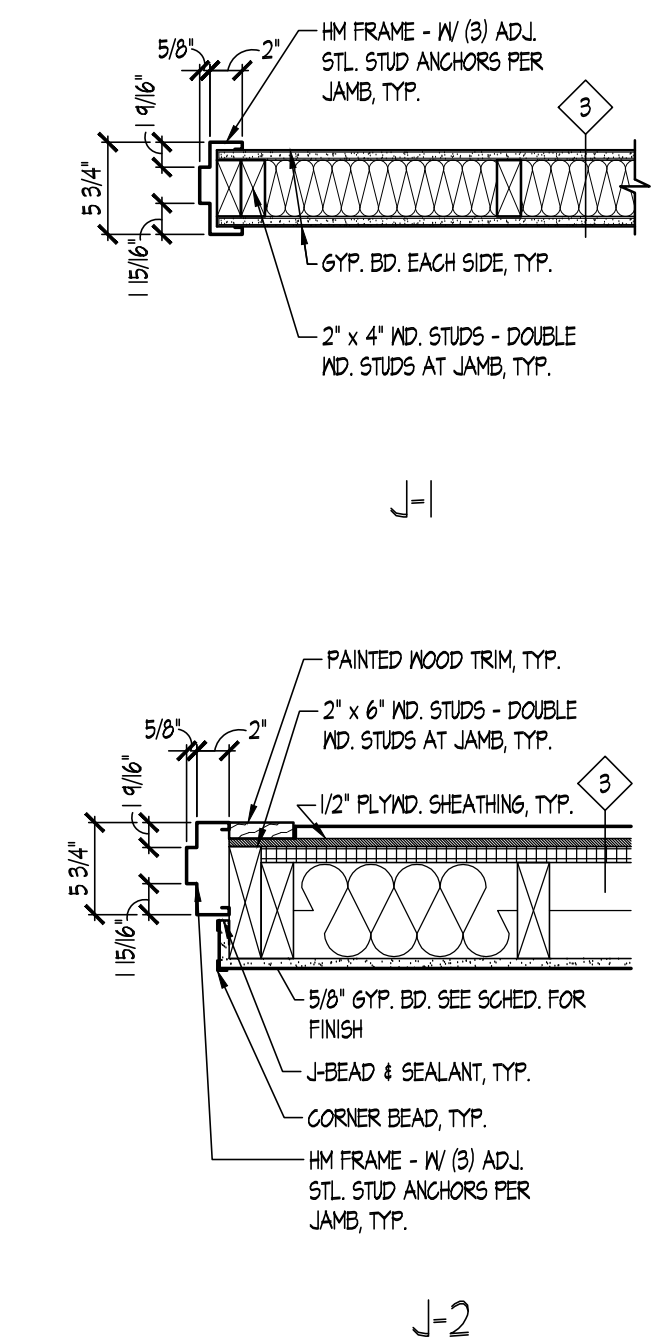
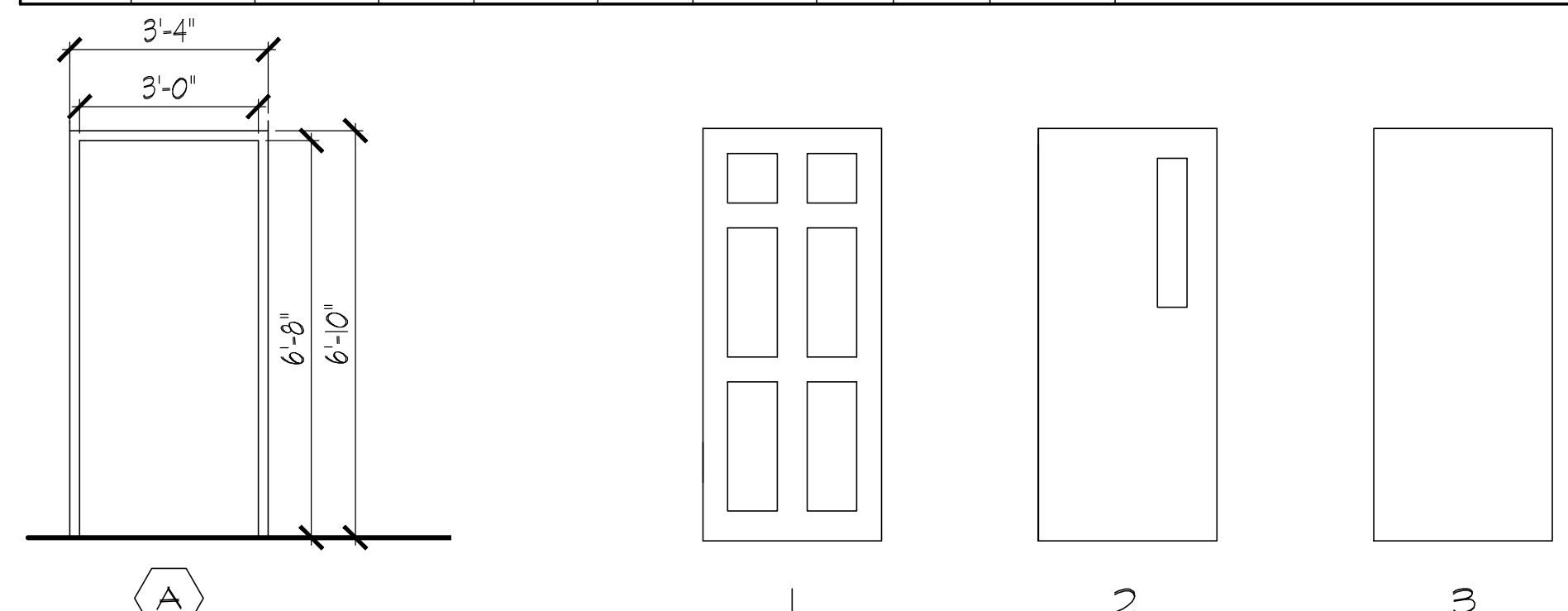
PROJECT NO.: 11-13
DATE: 3-7-2014

ROOM FINISH
SCHEDULES & DETAILS

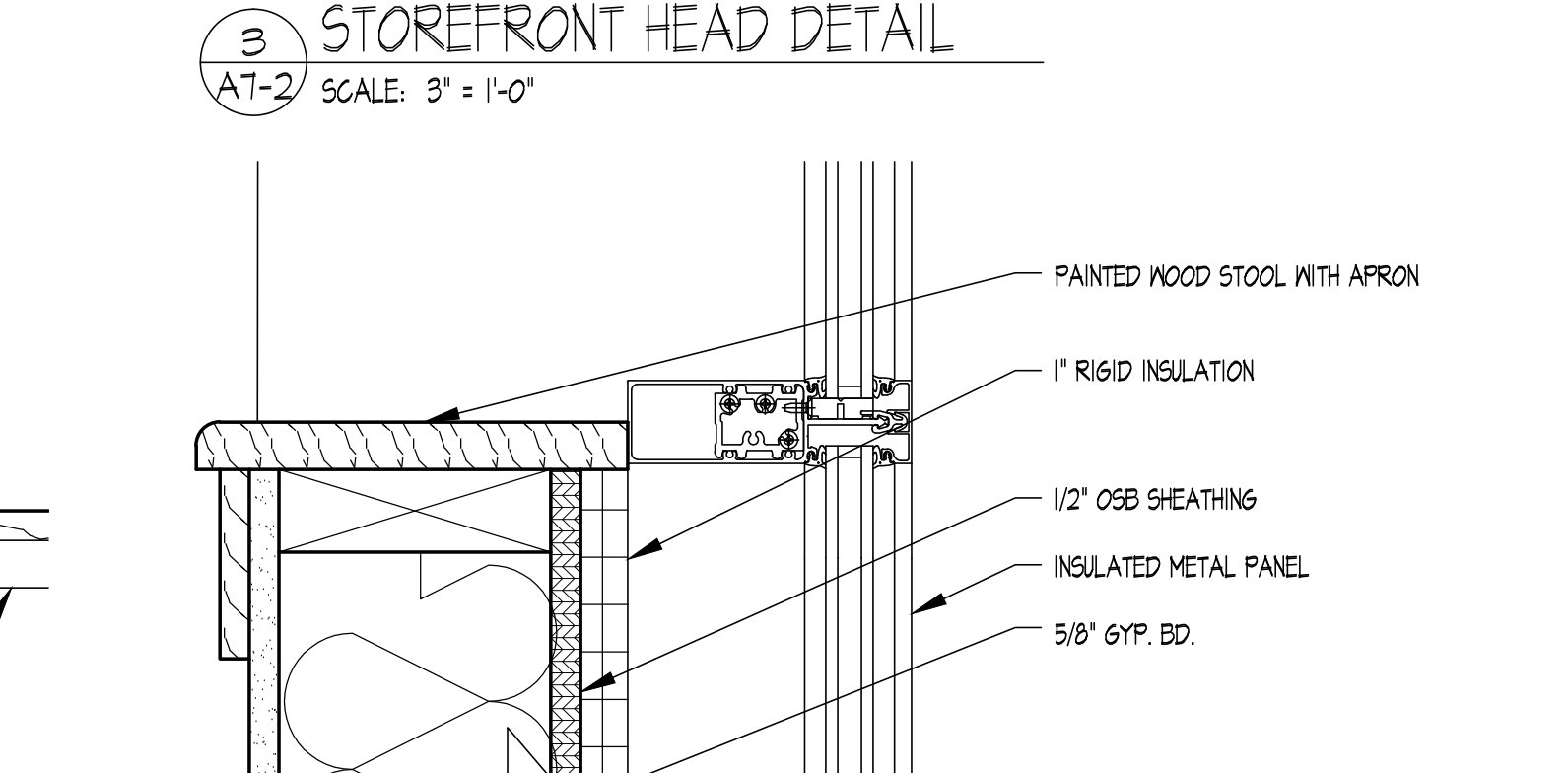
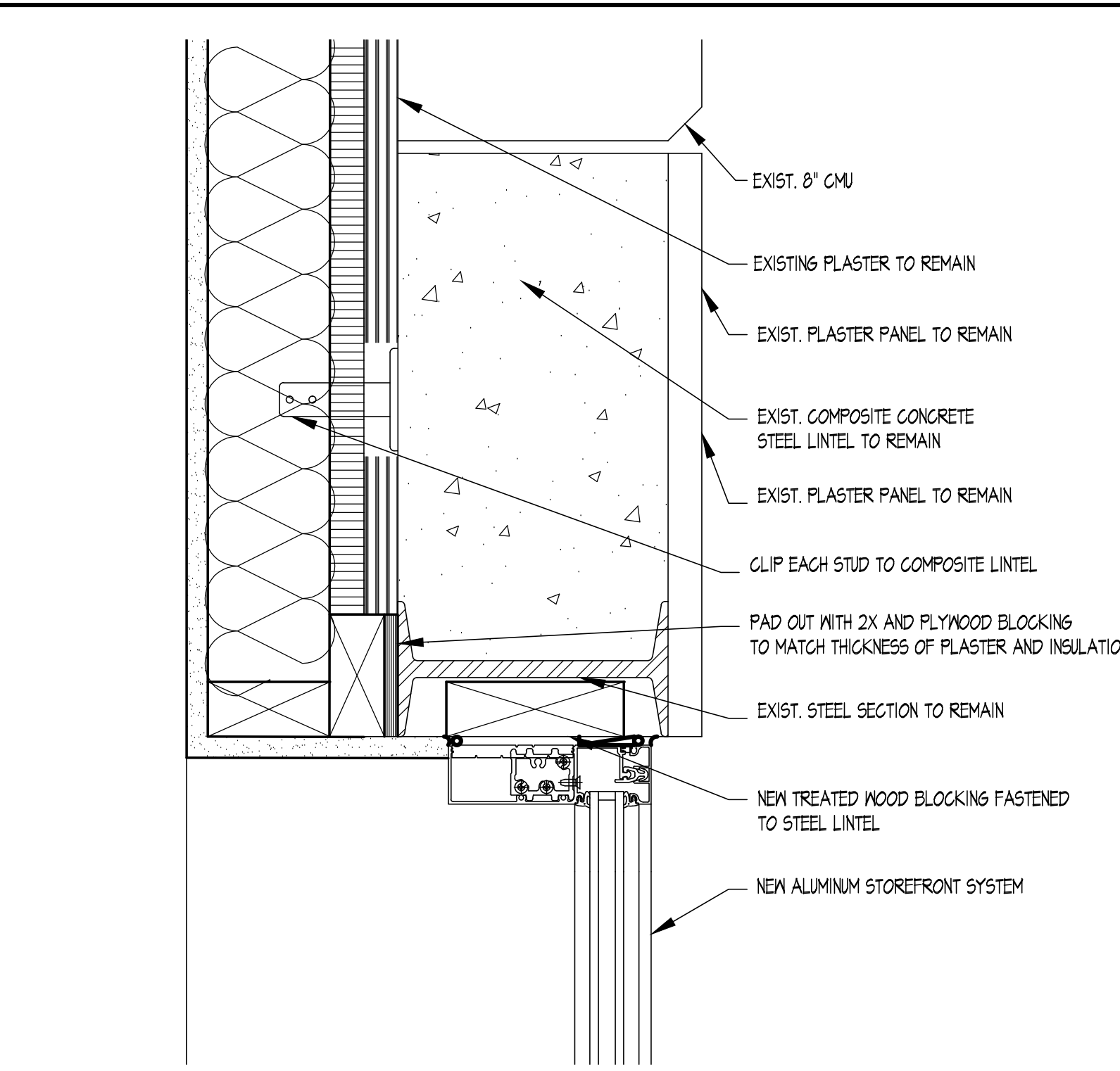
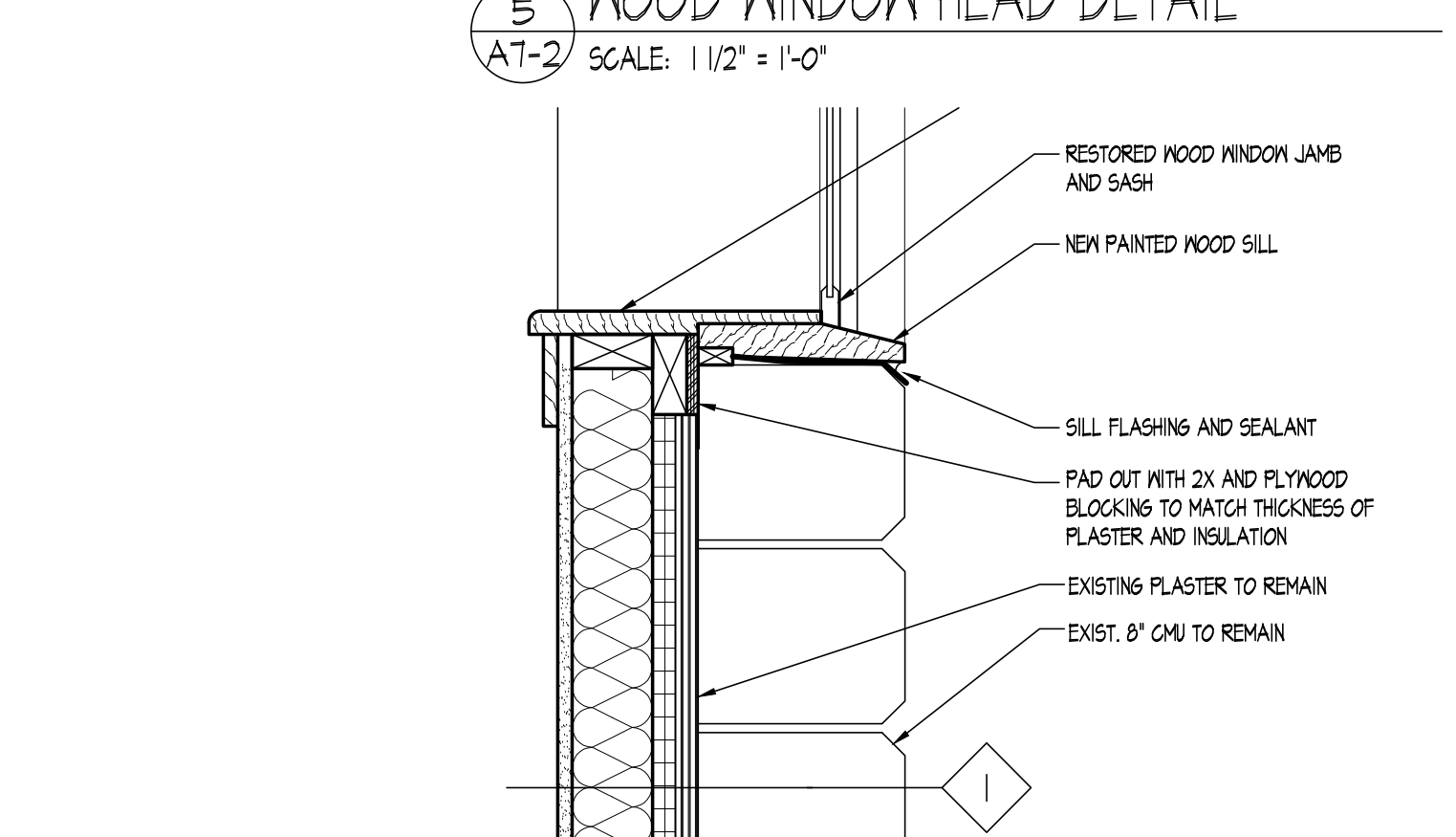
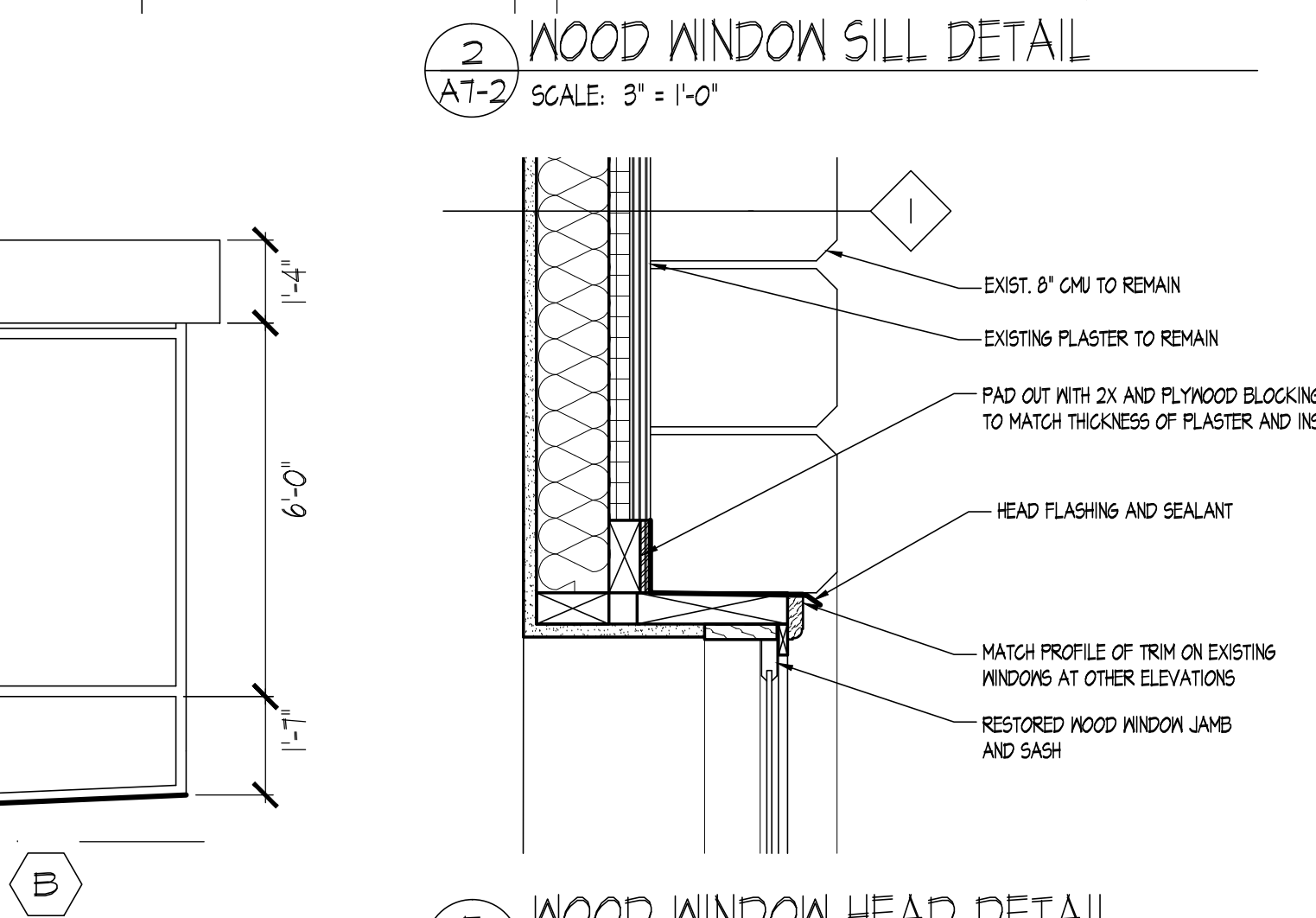
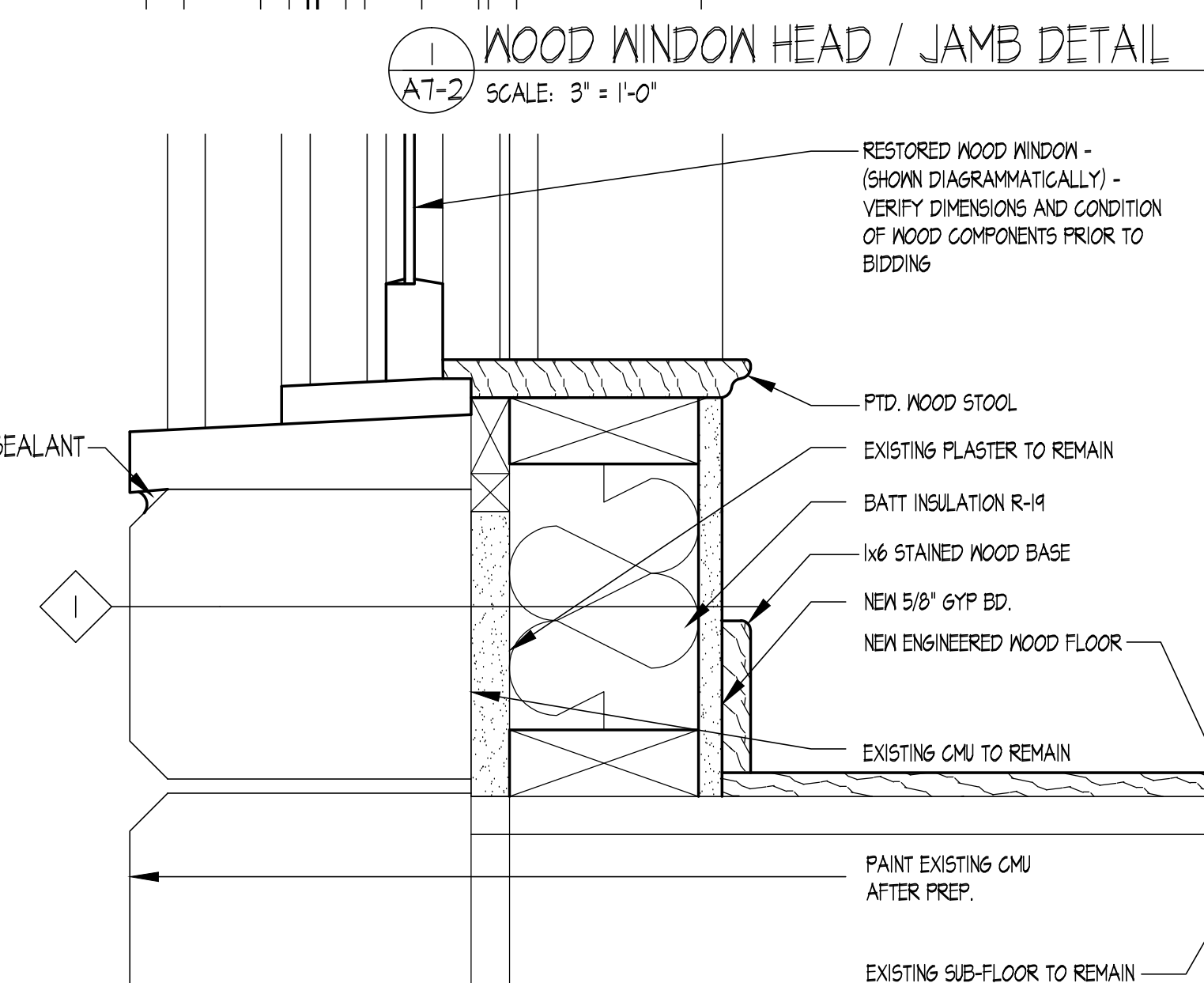
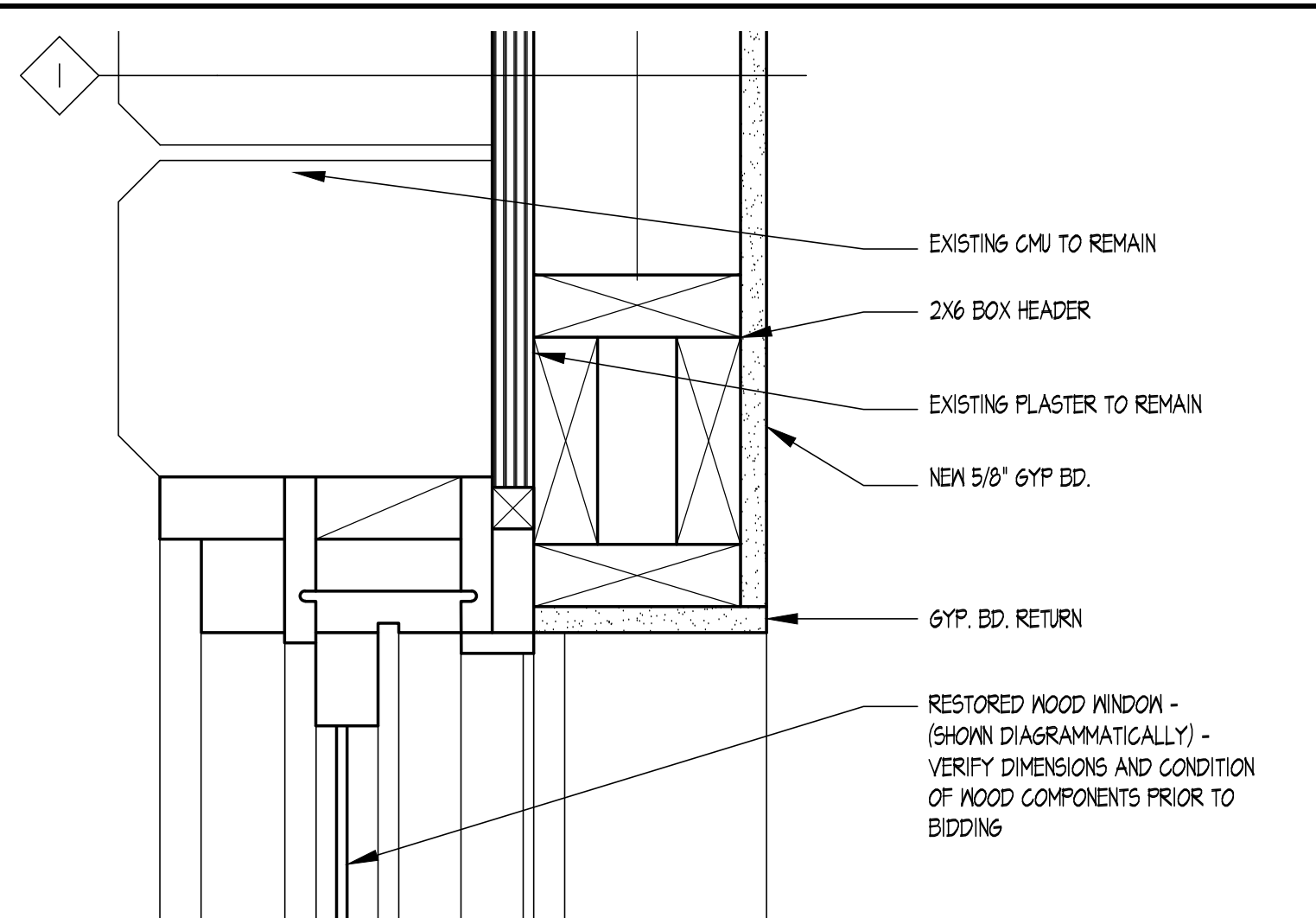
A7-1

DOOR SCHEDULE

| OPS. NO. | SIZE/ WIDTH | HEIGHT | DOOR | | FRAME | | JAMB | HDN | GLAZING | REMARKS |
|----------|-------------|--------|------|----------|-------|----------|------|-----|---------|-------------------------------|
| | | | TYPE | MATERIAL | TYPE | MATERIAL | | | | |
| 1-100 | PR. 3'-0" | 7'-0" | - | ALUM. | - | ALUM. | - | 1 | 61 | INCLUDED IN STOREFRONT |
| 1-100B | 3'-0" | 7'-0" | 1 | FIBERGL. | 1 | H.M. | J-2 | 2 | | FIELD PAINTED FIBERGLASS DOOR |
| 1-100C | 3'-0" | 6'-8" | 2 | WD | 1 | H.M. | J-1 | 3 | 62 | - |
| 1-102 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-103 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-104 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-105 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-107 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 5 | | - |
| 1-108 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 5 | | - |
| 1-109 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-110 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-201 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-202 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-203 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-204 | 3'-6" | 6'-8" | 2 | WD | 1 | H.M. | J-1 | 3 | | - |
| 1-205 | 3'-6" | 6'-8" | 2 | WD | 1 | H.M. | J-1 | 4 | | - |
| 1-001B | PR. 2'-6" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 7 | | - |
| 1-002 | 3'-0" | 6'-8" | 3 | WD | 1 | H.M. | J-1 | 6 | | - |



REHABILITATION NOTES:
 REPAIR WINDOW AS REQUIRED. REPLACE ROTTEN COMPONENTS OF SASH, SILL AND FRAME WHERE REQUIRED. RESTORE OPERATION IF NOT A FIXED WINDOW. REPLACE GLAZING COMPOUND AND REPAINT.
 REPAIR DOOR AS REQUIRED. REPLACE ROTTEN COMPONENTS OF DOOR, SILL AND FRAME. RESTORE TO OPENING AND REPAINT. DOOR TO REMAIN FIXED - PROVIDE WEATHER SEAL ON INTERIOR PERIMETER.
 REMOVE WINDOW FRAME AND SASH. RESTORE SASH, REPLACE GLAZING COMPOUND AND REPAINT. REPLACE DIMENSIONAL FRAMING WITH HISTORICALLY APPROPRIATE WOOD COMPONENTS AND PAINT.



ISSUE

| REV | DATE | DESCRIPTION |
|--------|-------------------|-------------|
| 4/8/14 | BD SET SUBMISSION | |