

GROVE & DALL'OLIO  
ARCHITECTS PLLC

**MEMORANDUM**

To: All Bidders

From: Matthew Grove  
Grove & Dall'Olio Architects PLLC  
304 267-2120

Date: November 17, 2014

**Re: Charles Washington Hall**  
ADDENDUM No. 2

The following information amends or supersedes the Project Manual dated October 28, 2014, Architectural drawings dated October 22, 2014, Landscape Drawings dated October 14, 2014, structural and MEP drawings dated September 26, 2014 and Addendum No. 1 dated November 11, 2014.

1. Regarding questions concerning finished grade and floor/door threshold elevations, the following notes are offered for clarification:
  - a. The concrete kitchen floor slab shall be poured level with the elevation of the front rooms of Charles Washington Hall.
  - b. Forming the kitchen slab may require the lowering of the internal CMU wall in the West Basement.
  - c. The threshold for door 105A should remain as is which means there will be a step up from the new kitchen floor elevation.
  - d. Threshold elevation for door 105C to the rear service alley will be elevated one step above the kitchen floor elevation.
  - e. The elevation noted on drawing L1.2 of Rouse Hall elevator vestibule floor elevation (approximately +1'9") should be correct. Floor elevations will be confirmed in the field and actual landing and threshold elevations shall be confirmed during construction.
2. The brick masonry ramp leading to Rouse Hall's elevator vestibule shall be removed and rebuilt as indicated on drawings A2.2 and A3.2 in order to meet the landing depth requirements of the ADA. While this work does not show on the civil drawings, it is a requirement of this project.
3. Drawing A5.3 Section C directs contractor to "adjust sidewalk paving elevation to new doorway" 109B. This work does not show on the civil drawings, however, it is a part



of this contract. Pavers must be leveled outside of this doorway and the sidewalk may need to be warped to accommodate this condition.

4. Masonry pointing limits or extents have not been established. The specifications are performance based. Pointing will be incidental, as needed, on this project. The majority of walls (other than the south wall) observed by the design team are in good condition. The building is available for inspection by masonry contractors. For further clarification of when a joint should be pointed, see attached SK 1.
5. *Drawing S1.1 Foundation Note 1 indicates building footings “shall bear on undisturbed.....”. Drawing S4.1 detail 5 indicates interior spread footings, but does not indicate a top of footing elevation. Based on this detail, the top of footing elevation will impact not only the amount of existing slab to be removed and patched, but also the height and reinforcing of the pier. For bidding purposes, could a top of footing be indicated?* The top of footing should be set so that there is 6" of gravel between the underside of the slab on grade and the top of the interior footing.
6. *Drawing S2.1 indicates footings (Sim) to detail 5 on S4.1 at the stair support columns. Are piers required for these columns, and if so, what should be the top of footing and pier elevations?* At the steel posts, set the bottom of the steel posts at the top of the foundations. Set the top of the footing so that there is 6" between the bottom of the slab on grade and the top of the footing. Provide a 10"x10" box out in the gravel and fill with concrete for cover on the steel post.
7. *Drawing S2.1 indicates “new 8” wall on new concrete wall foundation. See detail.” Where is this detail shown?* Footing and wall detail is similar to 9/S4.3, except wall footing is 2'-0" wide by 1'-6" deep.
8. *Could a top of footing and top of bond beam elevation be indicated for the 8” wall above?* Top of footing should be set so that there is 6" of gravel between the underside of the slab on grade and the top of the footing.
9. *Drawing S2.1, S3.1 and S4.3 Detail 9 - Alternate 2 description of new footing reinforcing is in conflict with reinforcing notes shown on the section. Which is correct?* The reinforcement shown in detail 9/S4.3 is correct.
10. *Drawing S2.2 notes “1 ¾” x 5 ¼” LVL at 16”, Typ.” Does this “typ” refer to the framing for this entire basement area?* Yes that is correct.
11. *Drawing S4.3 Detail 9 - should the dowels from the footing to the foundation wall and the vertical reinforcing in the new masonry wall above grade be different sizes and spacing as shown?* Provide #3 vertical bars at 12" on center. Dowels into the wall foundation should match the vertical reinforcement in size and spacing.
12. Motorized shades shall be provided as noted on the window schedule. Provide motorized shades to only the lower portion of windows 2E1, 2E2 and 2E3. Window 2S7 shall have motorized shades on upper and lower windows.

13. The construction schedule is estimated to be 16 months with completion to be before September 2016's City Heritage Festival.
14. No construction budget is being disclosed at this time.
15. Street closures may be possible. Use of parking lane in front of building will be closed for duration of construction and may be used to divert pedestrians around building. Construction of covered walkways for pedestrians shall be provided by the Contractor.
16. A permit must be drawn by the General Contractor, however the fee will be waived.
17. Questions will be received by the Architect up until 72 hours prior to bid opening.
18. Construction is anticipated to begin February 1, 2015.
19. Schedule site visits in morning hours or min-afternoon to avoid interruption of Chinese Restaurant.
20. Portions of the alley west of building can be used for staging.
21. See attached Bid Conference attendance list.
22. It is anticipated that the window frames and sashes will be removed from the south wall. At other locations, sashes may be removed for restoration off premises.
23. Shoring design must be contracted by the Contractor.
24. Rejuvenation lighting fixtures F1, F2, and F3 may be furnished with Carlton canopies.
25. Storm windows are to be provided as indicated on the window schedule. Note that replicated windows on the first floor shall have insulated glass in the sashes.
26. Drawing A3.3 Second Floor Plan incorrectly notes window 2E4 as "2E5".
27. Drawing A8.2 incorrectly labels window type as detail "5" when it should be "1". Casing Details above should be renumbered beginning with "7" in lieu of "1" and so on, "8" for "2", "9" for "3" and "10" for "4".
28. Builder's Risk Insurance shall be paid for by the Contractor.
29. Contractors must pay Charles Town B&O taxes for work that is done in the City.

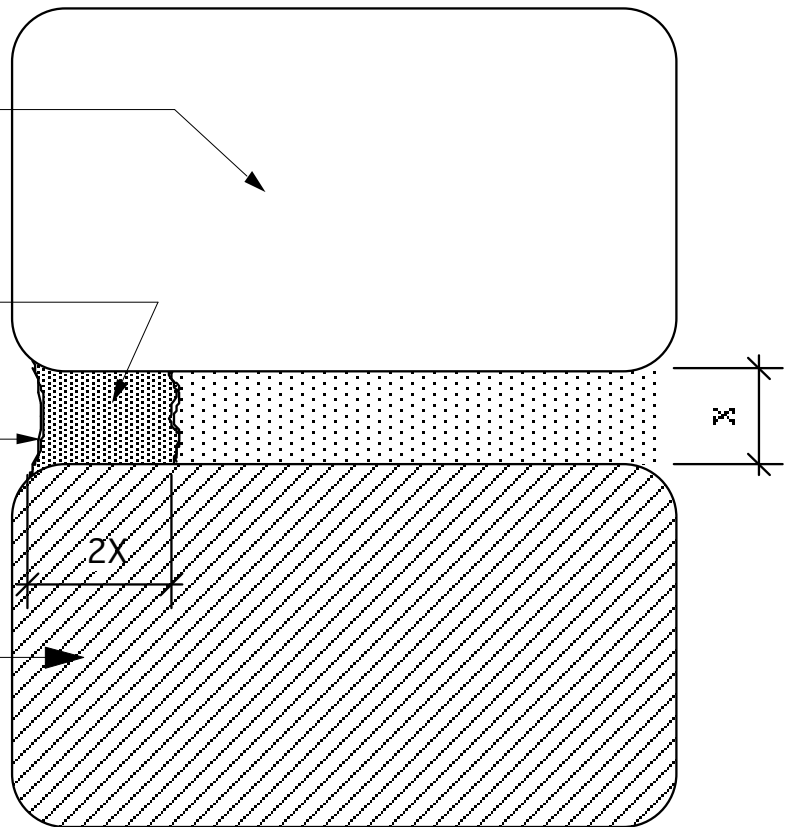
**End Addendum No. 2**

Existing Brick  
Masonry

Rake out only loose  
mortar. After raking,  
repoint only if joint depth  
is greater than 3/8".

New pointing mortar  
w/shallow concave  
joint.

Replace spauling  
or damaged brick.



SK  
1

## Brick Pointing Detail

Scale: 3" = 1' - 0"

Project: Charles Washington Hall

042214
11935

Charles Washington Hall  
Pre-Bid Meeting 11/12/14

Company	Address	First Name	Last Name	Phone	Email
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Bredle Mechanical	5521 Tablers Station Rd	Robert	Parker	304-260-0935	brad@bredlemechanical.com
Minghini's G.C. Inc	51 Trumpst Lane, Mt Gay, WV	Don	Miller	304-263-9485	dmiller@minghini's.com
JACK LATIMER ERUBER-LATIMER RESTORATION	PO Box 276 Williamsport MD 21795	JACK	LATIMER	301-223-8348	jacklatimer@erub-restore.com
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