

SGA GENERAL NOTES:

- The proposed site improvements for Charles Washington Hall includes the demolition and replacement of paving surfaces on the south, west, and north sides of the building. Construction will terminate at the curb south of the building and the edges of adjacent buildings to the north and west. The improvements also include removal and replacement of existing stormwater drainage piping/structures adjacent to the building as well as the installation of new exterior lighting and other amenities. The site is located within the City of Charles Town, Jefferson County, West Virginia.
- The base plan is derived from on-site field measurements taken by Stromberg/Garrigan & Associates. Existing spot elevations were provided by William H. Gordon Associates, Inc. dated June 29, 2012, and their horizontal locations are approximate. Stromberg/Garrigan & Associates and William H. Gordon Associates cannot confirm the accuracy of the base plan. All measurements and existing conditions are to be verified in the field by the contractor prior to commencing any construction.
- Right-of-way locations have not been established on the plans and any required easements for site work must be approved by the City of Charles Town or other appropriate agency.
- There is no floodplain on the subject property per FEMA map #54037C0136E effective December 18, 2009.
- There are no known wetlands/sensitive areas on this property according to the current national wetlands inventory map.
- The Contractor is responsible for obtaining all required permits for construction prior to commencing work. All work shall conform to requirements of the local soil conservation district and all applicable federal, state, county and/or local statutes, ordinances, regulations, laws and codes. The Contractor shall take all necessary steps to ensure such compliance at no additional cost to the City of Charles Town.
- The Contractor is responsible for licensing, bonding and insurance as required by applicable regulatory agencies. The Contractor is responsible for all sales, use and capital gains taxes.
- Changes or revisions in construction plans and specifications shall not be made unless first approved by the City of Charles Town and/or other appropriate agencies.

SGA CONSTRUCTION NOTES:

- The client and contractors are responsible for reviewing the plans prior to construction and notifying Stromberg Garrigan & Associates, Inc. of any circumstances found within these plans in need of verification so that appropriate revisions can be made.
- Development of the site including construction and materials shall be in conformance with current City of Charles Town, and the West Virginia Department of Transportation Standards and Specifications.
- The Contractor shall be responsible for notifying the owner and the Landscape Architect of any changes or conditions attached to permits required for construction.
- The Contractor shall obtain the City of Charles Town's approval for times of day during which construction operations may occur. All construction operations shall occur within times specified by local ordinances.
- The Contractor shall distribute all of their materials and equipment and spread any stockpiles in such a manner as to protect existing conditions, such as utilities, paving, etc.
- The Contractor shall visit the site and shall verify existing conditions prior to starting construction activities and shall fully acquaint themselves with the conditions of the site. The Contractor shall thoroughly examine and be familiar with the drawings and specifications. Should the Contractor find, after visiting the site or during construction, any discrepancies, omissions, ambiguities, or conflicts in or among the Contract Documents or be in doubt as to their meaning, they shall bring these items to the attention of the Landscape Architect for direction prior to commencing work.
- The approval of these plans shall in no way relieve the owner of complying with other applicable local, state and federal requirements.
- The Contractor shall be on site at the time of all material deliveries.

SGA CONSTRUCTION NOTES (CONT'D):

- Stromberg Garrigan & Associates, Inc. does not verify the location of or the existence of any existing underground utilities. Any underground utilities shown hereon are based upon available records and discussion with the owner. This does not constitute a guarantee of their actual locations or that they have all been shown. The Contractor shall be responsible for the digging of test holes prior to beginning any construction. These test holes will be made to verify all crossings between new and existing facilities and at critical grade changes. If conditions are found in the field, which are materially different from the plans, the Contractor shall notify Stromberg Garrigan & Associates, Inc. so that appropriate revisions as warranted can be made to the plans.
- Stromberg Garrigan & Associates, Inc. does not verify the sub-surface conditions of the site, the location of underlying rock, or the location of potential sinkholes. The Contractor shall be responsible for the digging of test holes to verify sub-surface conditions prior to beginning any construction. If sinkholes are found in the field, remediation will be required as specified by the DEP and/or a qualified geotechnical engineering firm.
- The Contractor shall preserve and protect all existing conditions unless otherwise noted. Methods used to protect existing conditions shall be maintained and replaced if damaged during construction. Damage shall be promptly repaired to existing pavement, driveways and adjacent facilities caused by construction operations. Any damages, or necessary alterations other than those indicated on the drawings must be repaired and are the responsibility of the Contractor.
- Maintain a minimum vertical clearance of one (1) foot six (6) inches between crossing of all utility lines unless otherwise noted

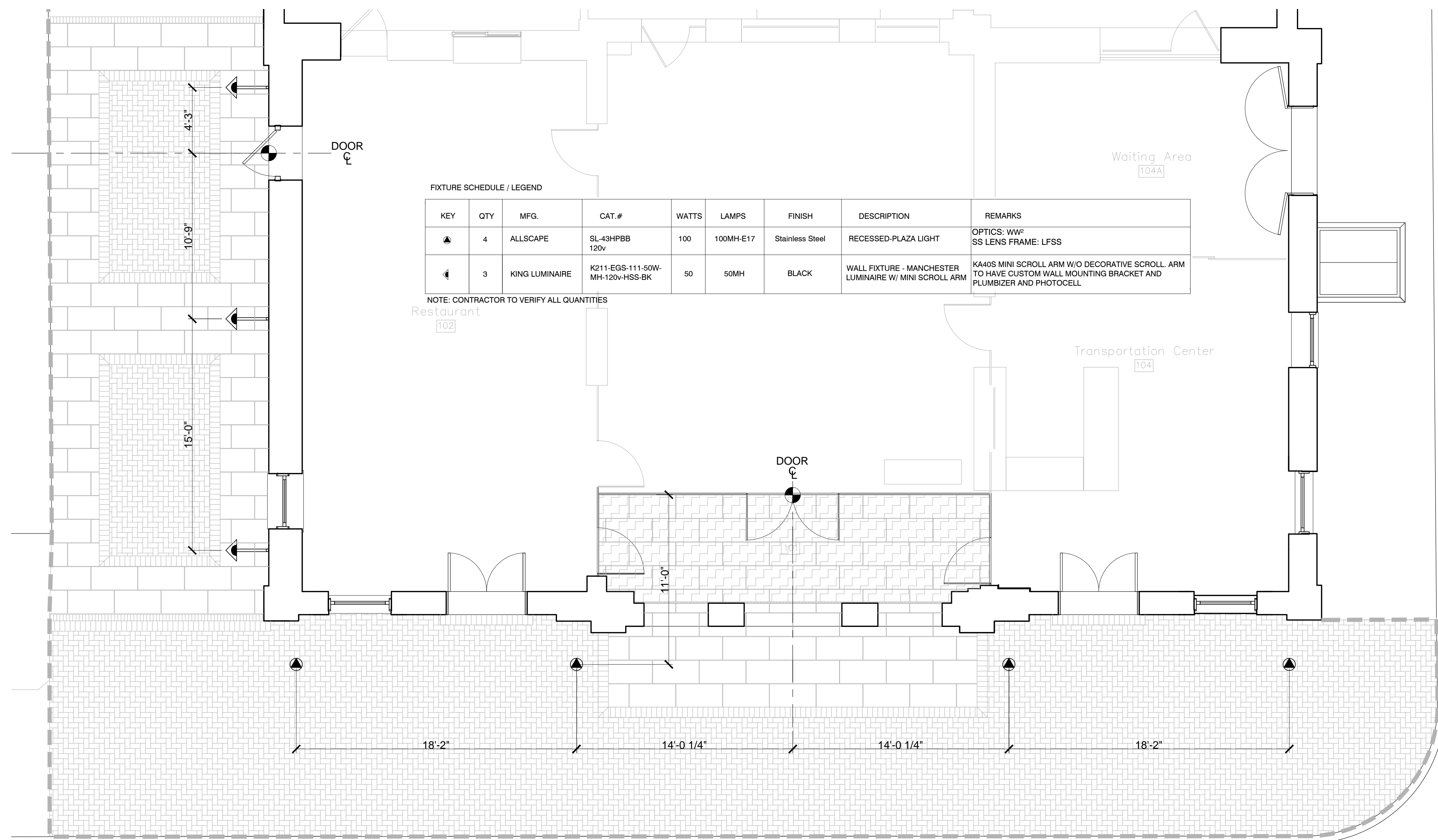
SGA CONSTRUCTION NOTES (CONT'D):

- The Contractor is responsible for keeping all work and related activities within the property line or the designated Limit of Work. At no time is access, storage, or movement of materials, machinery, or debris to take place outside of the project Limit of Work line or through neighboring sites. Construction access shall be maintained in a condition which will prevent tracking or flowing of sediment onto private property. The street, sidewalk and driveway must be cleared of debris, swept and washed on a daily basis during construction. The Contractor shall keep the site clean and free of trash at all times during construction. The Contractor shall provide a trash receptacle to be used on site during construction and shall remove trash from the site on a daily basis.
- The Contractor shall provide mock-ups in the field of all vertical and horizontal surfaces for approval by the City of Charles Town prior to construction. All mock-ups shall be preserved until construction is completed so that they may be used for reference during construction.
- Substitutions in products and materials are not permitted without prior written approval by the Client or Landscape Architect.
- The Client, Contractor, and/or Surveyor shall be responsible for notifying Stromberg Garrigan & Associates, Inc. of any conditions found in the field prior to stakeout, that vary from the approved plans or that make constructability impossible so that appropriate revisions can be made prior to stakeout and/or construction. Any observations regarding apparent inconsistencies in the plan shall be brought to Stromberg Garrigan & Associates, Inc.'s attention for verification before stakeout.

SGA CONSTRUCTION NOTES (CONT'D):

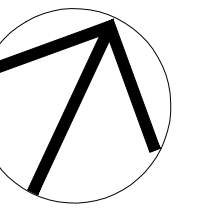
- The Contractor is responsible for coordinating with all other trades on the site.
- Upon completion of the project, all excess soil, temporary fencing, erosion control measures, stabilization materials and other debris shall be removed from the site and disposed of legally. All paved areas, walls, etc. shall be thoroughly washed and cleaned upon completion of the project.
- No construction vehicles should be driven over or parked on brick or bluestone paving areas.
- Contact "Miss Utility" at 1-800-245-4848 a minimum of 72 hours prior to any excavation within public right-of-ways or within areas served by underground utilities. The Contractor is responsible for field verifying the presence of any underground utilities prior to construction.

UTILITY	UTILITY COMPANY	TELEPHONE NUMBER
WATER	CITY OF CHARLES TOWN	(304) 728-2311
SANITARY SEWER	CITY OF RANSON	(304) 725-1010
ELECTRIC	ALLEGHENY POWER	(800) 255-3443
TELEPHONE	FRONTIER	(800) 921-8104
CABLE	COMCAST	(304) 725-9185
OTHER	MISS UTILITY	(800) 245-4848



WASHINGTON STREET

NORTH ( magnetic )



# Charles Washington Hall

## RENOVATIONS

Corner of George & Washington Streets  
Charles Town, W.Va.

For the  
City of Charles Town  
City of Ranson

Planning & Engineering (prime)  
Hall Planning & Engineering, Inc  
316 Williams Street  
Tallahassee, FL 32303

Landscape Architecture  
Stromberg/Garrigan & Assoc., Inc.  
102 E. Main Street-The Penn Bldg  
Somerset, PA 15501

Historic Preservation & Architecture  
Landmarks SGA, LLC  
102 E. Main Street-The Penn Bldg  
Somerset, PA 15501

Structural Engineer  
R.L. Silman Associates  
1053 31st Street NW  
Washington D.C. 20007

Mech/Elect Engineer  
Comfort Designs  
620 Pennsylvania Avenue  
Winchester, VA 22601

Architect



Issue/Revision Seal

Drawing Title

SITE LIGHTING PLAN & CONSTRUCTION NOTES

Date 10/14/14  
Scale 1/4"=1'0" Project Number 11105

# L1.3

BID SET